

**BEFORE THE DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

**APPLICATION OF
2805 M STREET, LLC**

ANC2E06

STATEMENT OF THE APPLICANT

I. NATURE OF RELIEF SOUGHT

This statement is submitted on behalf of the Applicant, 2805 M STREET, LLC (the “Applicant”), the owner of the property located at 2805 M Street NW (Square 1212, Lot 0201) (the “Property”), in support of its application for special exception relief from the requirements for a fifteen foot rear yard under DCMR Subtitle G § 405.2 in connection with the construction of stairs leading to the second floor of an existing building at the Property.

II. JURISDICTION OF THE BOARD

The Board of Zoning Adjustment (the “Board”) has jurisdiction to grant the special exception and variance relief requested herein pursuant to Subtitle X § 901.2; 1000.1 of the Zoning Regulations.

III. BACKGROUND

A. The Property and the Surrounding Neighborhood

The Property is in the MU-4 Zone District with a lot area of 5,130 sq. ft. A copy of the zoning map is attached at **Tab A**. The Property is a rectilinear lot located at the northwest corner of the intersection of 28th Street, NW and M Street, NW. A copy of the Baist Map is attached at **Tab B**. As shown on the plans attached at **Tab C**, the Property is currently improved with a three story structure (the “Building”). The Applicant proposes to renovate the Building, which renovation will include the construction of an exterior rear stair leading to the second floor (the “Repairs”) as described in more detail below and as shown in the drawings on A010 (showing the

existing conditions) and A201 (showing the Repairs). The Repairs will require special exception relief. However, as shown in the Existing First Floor Plan on Drawing No. A0006 in **Tab C**, the Property is already non-conforming under the rear yard requirement set forth in Subtitle G § 405.2 as the rear yard has a setback of four (4) foot three (3) inches at the point closest to the property line rather than the fifteen (15) feet required under the Zoning Regulations.¹

The Property is located at the eastern edge of Georgetown along a commercial stretch of M Street, NW, with the façade of the Building on M Street, NW (facing south). The adjacent property along M Street, NW, 2807 M Street, NW, was most recently home to Bibibop: Asian Grill. Other restaurant and retail uses are located further along M Street, NW, including the Four Seasons Hotel, located directly across the street. The rear of the Property is adjacent to 1210 28th Street, NW, a row house in the MU-4 Zone. Properties along N Street, NW are home to restaurants, residences and offices. Restaurants and the Qatar Defense Attaché are located across N Street, NW from the Property. The Property is individually identified as historic (recognized as the Sims House, 2803 M Street) and is part of the Georgetown Historic District.

B. Traffic Conditions and Mass Transit

The Property has good public transportation options. There are several bus stops within two to three blocks of the Property, serving bus lines 30N, 30S, 31, 33, 38B, D5. There are three Capital Bikeshare stations within approximately .4 miles of the Property, including one in the median of M Street, NW adjacent to the Property. In general, the area is pedestrian-friendly, as Walkscore.com rates the Property as a “Walker’s Paradise.”

C. The Repairs

¹ As noted throughout the application the property abuts what is referenced as an alley, but it is not confirmed as a public alley as defined in Subtitle B § 1002. of the Zoning Regulations as we cannot confirm if it is recorded at the Office of the Surveyor of the District of Columbia. Out of an abundance of caution we are taking the measurement from the property line and not the alley pursuant Subtitle G § 405.5(b).

The Applicant proposes to construct a staircase at the rear of the Property for exterior access to the second floor of the Building. The Repairs are part of a larger series of renovations to improve and restore the Building following a car crash that badly damaged the 28th Street elevation, adjacent to the proposed site of the Repairs, in January, 2019. Following the crash the Applicant prepared plans for a restoration of the exterior and a renovation of the interior that have since passed the scrutiny of the Historic Preservation Review Board and the Old Georgetown Board. A copy of the architectural plans are attached at **Tab C**. It was only upon filing for permits that the Applicant realized that a permanent replacement for a stair that already exists at the Property requires zoning relief.

The Repairs will meet all of the development standards in the MU-4 Zone with the exception that the Building will continue to not meet the MU-4 rear yard requirement as the construction of the Code-compliant Repairs will involve the reduction of the rear yard to one (1) foot along sixteen (16) feet eight and one half (8.5) inches at the point closest to the property line, as more fully shown in Drawing A104 of **Tab C**.

IV. NATURE OF SPECIAL EXCEPTION RELIEF SOUGHT AND STANDARD OF REVIEW

The Applicant requests special exception relief from the rear yard requirement as a staircase cannot be built at the rear of the Property in the MU-4 Zone without meeting the criteria for special exception relief as set forth in Subtitle G § 409.1. As the Repairs meet the special exception standards in Subtitle X § 901.2 and are not subject to the provisions and limitations of Subtitle G § 1201.1 *et. seq*, as more fully explained below, the Applicant's request for relief should be granted.

Pursuant to D.C. Code § 6-641.07(g)(2) and 11 DCMR Subtitle X § 901.2, the Board is authorized to grant a special exception where it finds the special exception:

- (1) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
- (2) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
- (3) Subject in specific cases to special conditions specified in the Zoning Regulations. 11 DCMR Subtitle X § 901.2.

Relief granted through a special exception is presumed appropriate, reasonable, and compatible with other uses in the same zoning classification, provided the specific requirements for the relief are met. In reviewing an application for special exception relief, “[t]he Board’s discretion . . . is limited to a determination of whether the exception sought meets the requirements of the regulation.” *First Baptist Church of Wash. v. District of Columbia Bd. of Zoning Adjustment*, 432 A.2d 695, 701 (D.C. 1981) (quoting *Stewart v. District of Columbia Bd. of Zoning Adjustment*, 305 A.2d 516, 518 (D.C. 1973)). If an applicant meets its burden, the Board must ordinarily grant the application. *Id.*

V. APPLICANT MEETS BURDEN FOR SPECIAL EXCEPTION RELIEF

A. The Relief is Harmonious with the General Purpose and Intent of the Zoning Regulations and Maps

The special exception relief will be in harmony with the purpose and intent of the Zoning Regulations and related maps. The Property is located in the MU-4 Zone, a mixed-used zone intended to be applied throughout the city consistent with the density designation of the Comprehensive Plan. The purpose of that Zone is to: (a) [p]ermit moderate-density mixed-use development; (b) [p]rovide facilities for shopping and business needs, housing, and mixed uses for large segments of the District of Columbia outside of the central core; and (c) [b]e located in low- and moderate-density residential areas with access to main roadways or rapid transit stops, and include office employment centers, shopping centers, and moderate bulk mixed-use centers. *See* Subtitle G § 400.3.

The Repairs are compatible with the purpose of the MU-4 Zone as they will permit office, retail and gym/exercise studio uses within an existing historic three-story building, exactly the kind of “moderate-density mixed use development” envisioned by the special exception standard. Subtitle G § 400.3(a). The Repairs are necessary in order to accommodate multiple uses at the Building and to provide tenants with disparate expectations and requirements for ingress and egress. The Repairs will permit two of the three explicitly identified uses (shopping and business needs) in Subtitle G § 400.3(b). Finally, the Property is located on a high-traffic mixed-use corridor at the entrance to Georgetown, adjacent to a number of high-frequency bus routes. Subtitle G § 400.3(c). Accordingly, the requested relief is harmonious with the purpose and intent of the Zoning Regulations.

B. The Relief will not tend to Adversely Affect the Use of Neighboring Property

The Repairs will not adversely affect adjacent properties. The adjacent properties are 2809 M Street, NW (the “2809 Property”) and 1210 28th Street, NW (the “1210 Property”). The 2809 Property also faces M Street, NW with primary ingress and egress from M Street, NW. The Repairs will be located entirely on the Property and will not impede access to the 2809 Property through the open setback running between the Property and the 1210 Property. Like the entrance to the 1210 Property, the Repairs will serve as a raised entrance to an existing Building. While the Repairs will be visible from the 1210 Property, they will be shorter than the existing height of the Property and their open design will have a de minimis effect on light and air’s ability to reach the 1210 Property.

C. The Repairs Satisfy the Special Conditions of Subtitle G § 1201.1 *et. seq.*

In addition to the general special exception standard, relief from the rear yard requirements shall be provided if the proposal meets the provisions of Subtitle G § 1201.1 *et. seq.*. The applicable provisions are as follows:

1. *No apartment window shall be located within forty feet (40 ft.) directly in front of another building. Subtitle G § 1201.1(a)*

The Building will exclusively be used for office, retail and mercantile uses, so this section does not apply to the Repairs.

2. *No office window shall be located within thirty feet (30 ft.) directly in front of another office window, nor eighteen feet (18 ft.) in front of a blank wall. Subtitle G § 1201.1(b)*

The Building envelope is being restored to its historic appearance with no change in fenestration. The rear yard relief requested will not alter any fenestration.

3. *In buildings that are not parallel to the adjacent buildings, the angle of sight lines and the distance of penetration of sight lines into habitable rooms shall be considered in determining distances between windows and appropriate yards. Subtitle G § 1201.1(c)*

The sight lines of the Building are not changing as a result of the Repairs. The Repairs will provide a secondary stair with a limited use.

4. *Provision shall be included for service functions, including parking and loading access and adequate loading areas. Subtitle G § 1201.1(d)*

The Repairs are a minor addition to the existing Building, the Building is not being altered, except to restore it to its historic appearance prior to the crash. There will therefore be no impact on parking or loading. Note that the change in use proposed by the renovations that includes the Repairs does not trigger parking minimums as the property is historic and an expansion is not part of the proposed renovations. *See* Subtitle C § 705.3. The Repairs

will therefore have no impact on the provision of required parking and loading at the Property.

5. *Upon receiving an application to waive rear yard requirements in the subject zone, the Board of Zoning Adjustment shall submit the application to the Office of Planning for coordination, review, report, and impact assessment, along with reviews in writing from all relevant District of Columbia departments and agencies, including the Department of Transportation, the District of Columbia Housing Authority and, if a historic district or historic landmark is involved, the Historic Preservation Office. Subtitle G § 1201.1(e)*

The Applicant has already appeared before and received approval from the Historic Preservation Review Board in Case No. HPA 19-073 and the Old Georgetown Board in Case No. OG 19-029. To the extent further cooperation is required, the Applicant will cooperate with and work alongside the Department of Transportation, the Historic Preservation Office and other District of Columbia departments and agencies having jurisdiction over the Property.

The conditions of Subtitle G § 1201.1 *et. seq.* which would prohibit a special exception for rear yard relief are broadly inapplicable to the Repairs, the Building and the Property. The existing and proposed uses for the Property and the existing uses at the 2809 Property, and the 1210 Property are all compatible with relief from the rear yard requirements. The Building's layout and size similarly make the Repairs an ideal candidate for rear yard relief.

VI. COMMUNITY OUTREACH

The Applicant will attend meetings of Advisory Neighborhood Commission (ANC) 2E06 to introduce the application and discuss the Repairs. The Applicant will formally present the application to ANC 2E06 at its next available public meeting.

VII. CONCLUSION

For the reasons stated above, the Repairs meet the applicable standards for special exception relief under the Zoning Regulations. Accordingly, the Applicant respectfully requests the Board grant the application.

Respectfully Submitted,

COZEN O'CONNOR

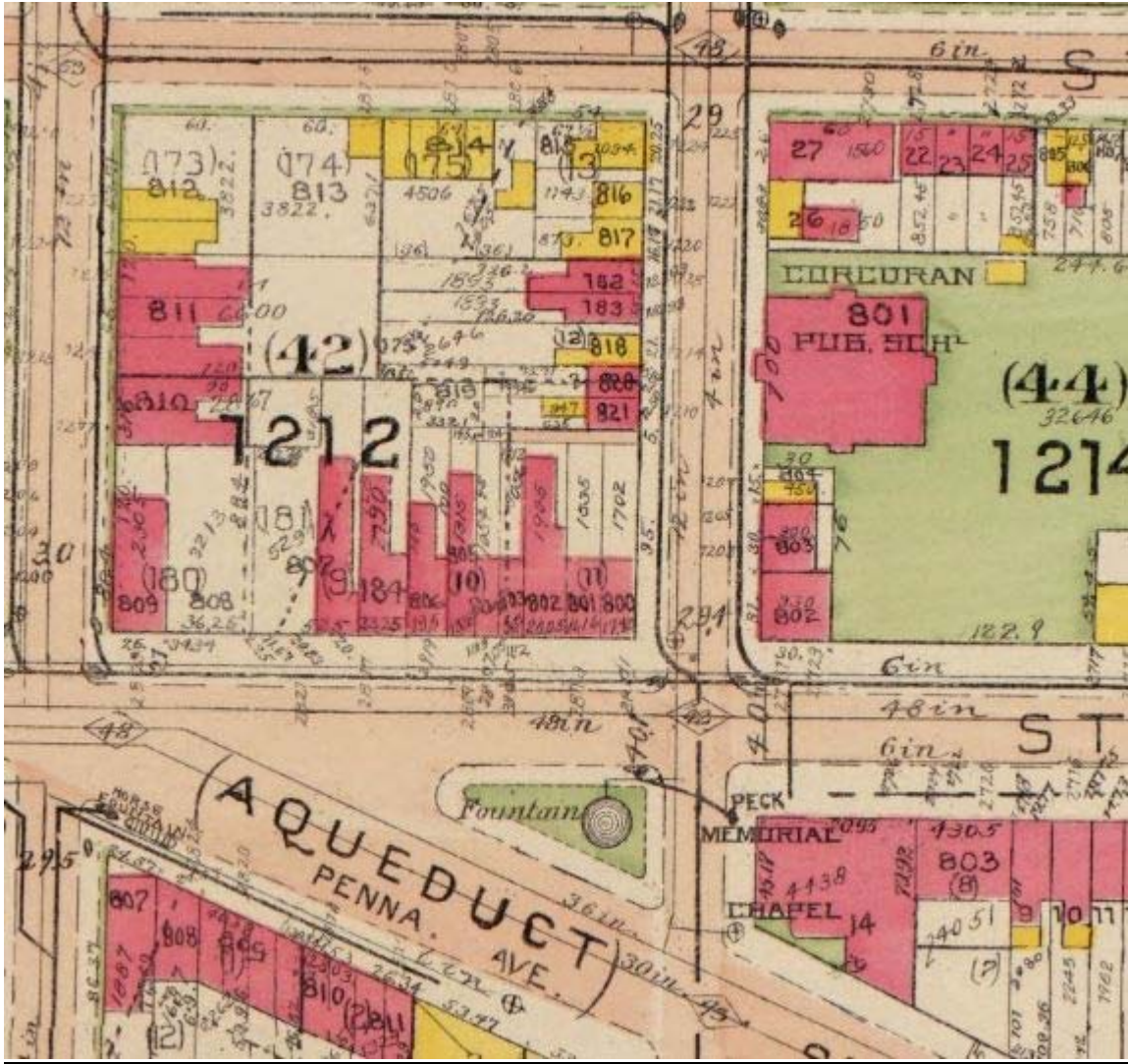
A handwritten signature in blue ink, appearing to read 'M. Moldenhauer', written over a horizontal line.

Meridith H. Moldenhauer
Harrison Haas
1200 19th Street NW
Washington, DC 20036

Tab A



Tab B



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Tab C

ALTERATIONS AND REPAIRS AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

BBGM Project Number 1123.00

BZA APPLICATION

02.09.2021

PROJECT NAME:
2805 M ST, NW
Washington, D.C., 20009

SCOPE OF WORK:

2805 M STREET, NW IS AN EXISTING HISTORIC BUILDING WHICH WAS PREVIOUSLY SUBDIVIDED TO INCLUDE THE PRIOR ADDRESSES OF 2801, 2803, AND 2805 M STREET, NW. IT IS A 3-STORY ABOVE-GRADE STRUCTURE WITH ONE FULL LEVEL BELOW GRADE (IN ADDITION TO LIMITED BELOW-GRADE MECHANICAL AREAS). THE BUILDING IS IN DISREPAIR, IN PART DUE TO RECENT VEHICULAR DAMAGE, AND REQUIRES IMPROVEMENTS TO THE INTERIOR AND EXTERIOR TO ENHANCE HISTORIC APPEAL. THE CURRENT SCOPE OF WORK WILL INVOLVE INTERIOR ALTERATIONS ON THE 2ND AND 3RD FLOORS ONLY AND WILL INCLUDE REPLACEMENT OF EXISTING PLUMBING FIXTURES AT RESTROOMS IN KIND; REPLACEMENT OF EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN KIND; REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND; AND PROVIDING SECURITY ALARM UPGRADES. THE NEW EGRESS STAIR WILL BE INSTALLED (PER PRIOR CFA APPROVAL DATED 6/12/19).

BUILDING CODES - (Washington D.C.)

BUILDING- INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012
INTERNATIONAL BUILDING CODE (IBC) 2012
DC BUILDING CODE (DCBC) 2013
DCMR 12A BUILDING CODE SUPPLEMENT 2013
DC EXISTING BUILDING CODE 2013
DCMA 12J EXISTING BUILDING CODE 2013

MECHANICAL- INTERNATIONAL MECHANICAL CODE (IMC) 2012
DC MECHANICAL CODE 2013
DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT

PLUMBING- INTERNATIONAL PLUMBING CODE (IPC) 2012 (REF. 12 DCMR F)
DC PLUMBING CODE 2013
DCMR 12F 2013 PLUMBING CODE SUPPLEMENT

GAS- INTERNATIONAL FUEL GAS CODE (IFGC) 2012
DCMR 12D FUEL GAS CODE SUPPLEMENT

ELECTRICAL- NATIONAL ELECTRICAL CODE (NEC - NFPA 70, 2011 EDITION)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 2010 EDITION
DC ELECTRICAL CODE 1013
DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT

ENERGY- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012
GREEN CONSTRUCTION CODE SUPPLEMENT (GCC) 2012
DC ENERGY CONSERVATION CODE 2013
DCMR 12 2013 ENERGY CONSERVATION CODE SUPPLEMENT

FIRE PREVENTION- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2012

LIFE SAFETY- LIFE SAFETY CODE (LSC) 101 2012

ACCESSIBILITY- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
INTERNATIONAL BUILDING CODE (IBC) 2012
2009 ANSI A117.1
DCMR 12A BUILDING CODE SUPPLEMENT

ELEVATOR CODE- INTERNATIONAL BUILDING CODE (IBC) 2012
ASME A17.1/CSA B44
OTHER CODES- DC GREEN BUILDING ACT OF 2006
DC GREEN CONSTRUCTION CODE 2013
INTERNATIONAL GREEN CONSTRUCTION CODE 2012
DCMR 12M 2013 GREEN CONSTRUCTION CODE SUPPLEMENT
DC PROPERTY MAINTENANCE CODE 2013
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
DCMR 12G 2013 PROPERTY MAINTENANCE CODE SUPPLEMENT

ZONING

LOTS: 0201

SQUARE: 1212

ZONE: MU-4

HEIGHT: 32' - 6"

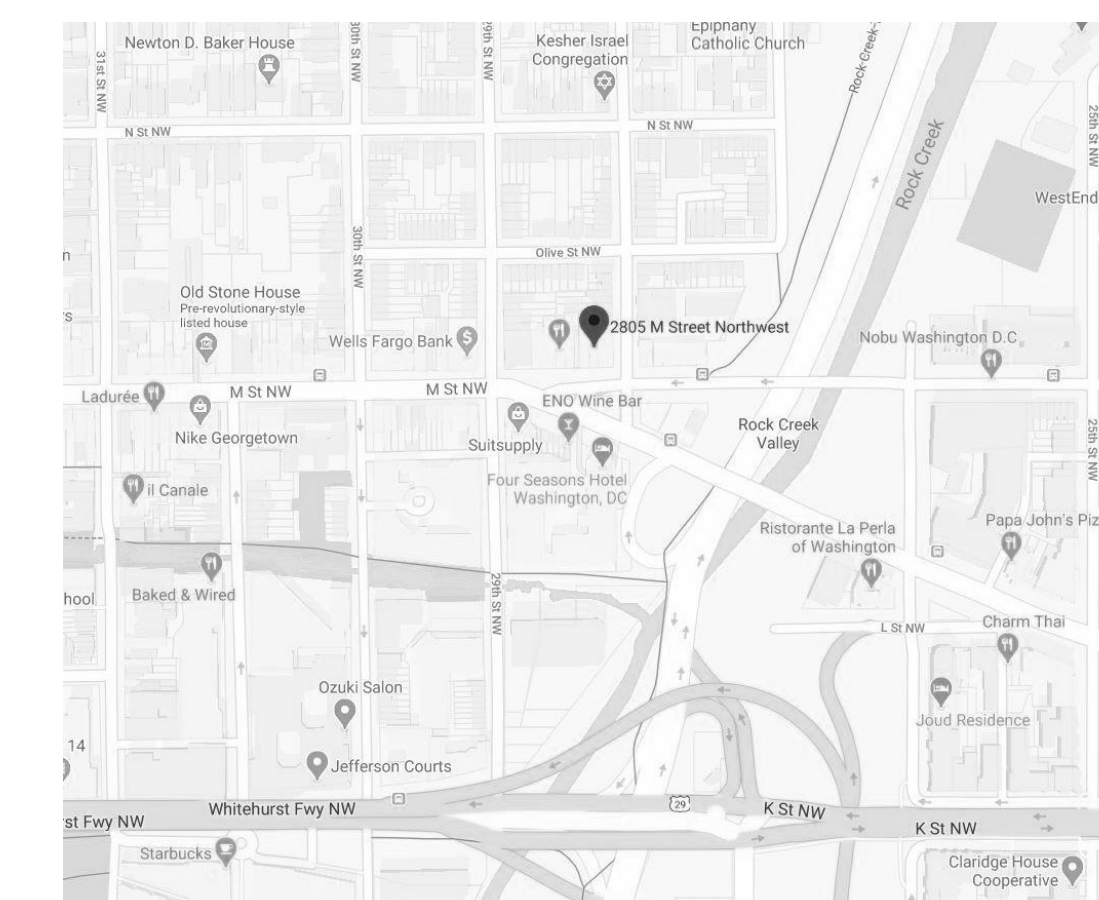
STORIES: 3 ABOVE GRADE + BASEMENT

SITE AREA: 5,130 SQ.FT.

HISTORIC: GEORGETOWN

USES: OFFICE/RETAIL

VICINITY MAP



USE GROUP:

B - OFFICE/RETAIL

M - MERCANTILE

CONSTRUCTION TYPE:
BUILDING - TYPE IIIb, NOT SPRINKLED

NUMBER OF STORIES: 3

HIGHRISE: NO

COVERED MALL: NO

FULLY SPRINKLERED & MONITORED: NO

FIRE ALARM SYSTEM: NO

ADA ACCESSIBILITY: NO

EMERGENCY POWER: NO

OCCUPANCY CALCULATION:
OCCUPANCY REMAINS UNCHANGED AS FLOOR AREAS AND OCCUPANCIES ARE UNCHANGED.

EGRESS LOADS:
THIS RENOVATION WILL NOT CHANGE THE EXISTING POPULATION LOADS AND EGRESS REQUIREMENTS OF THE BUILDING.

EXISTING BUILDING LEVEL OF ALTERATION:
LEVEL 2 ALTERATION - "LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT."
(IEBC2012 504.1)



WASHINGTON, DC

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ABBREVIATIONS

<	ANGLE	DBL	DOUBLE	G	GAS	M	METER(S)	R	RISER	UC	UNDERCUT
@	AT	DEMO	DEMOLISH, DEMOLITION	GA	GAUGE	MACH	MACHINE	RA	RETURN AIR	UG	UNDERGROUND
AB	ANCHOR BOLT	DEPT	DEPARTMENT	GAL	GALLON	MAS	MASONRY	RAD	RADIUS	UH	UNIT HEATER
ABV	ABOVE	DF	DRINKING FOUNTAIN	GALV	GALVANIZED	MATL	MATERIAL	RB	RUBBER BASE	UNFIN	UNFINISHED
AC	AIR CONDITIONING	DG	DOOR GRILLE	GB	GRAB BAR	MAX	MAXIMUM	RD	ROOF DRAIN	UNO	UNLESS NOTED OTHERWISE
ACP	ACOUSTICAL CEILING	DI	DROP INLET	GC	GENERAL CONTRACTOR	MB	MARKERBOARD	RECP	RECEPTACLE	V	VINYL
ACT	PANEL	DIAG	DIAGONAL	GCMU	GLAZED CONC. MASONRY UNIT	MECH	MECHANICAL	REF	REFERENCE	VAC	VACUUM
ADJ	ACOUSTICAL CEILING TILE			GEN	GENERAL	MED	MEDIUM	REFG	REFRIGERATOR	VB	VINYL BASE
AFF	ADJUSTABLE	DIM	DIMENSION	GFCI	GROUND FAULT CIRC. INTERUP.	MEMB	MEMBRANE	REINF	REINFORCE(D)(ING)	VBC	HORIZONTAL BRICK COURSE(S)
AHD	ABOVE FINISHED FLOOR	DIV	DIVISION	GFRG	GLASS FIBER REIN. CONC.	MFR	MANUFACTURER	REQD	REQUIRED	VCT	VINYL COMPOSITION TILE
ALT	AIR HANDLING UNIT	DMT	DEMOUNTABLE	GLSS	GLASS	MH	MANHOLE	REQMT	REQUIREMENT	VERT	VERTICAL
ALUM	ALTERNATE	DN	DOWN	GPM	GALLONS PER MINUTE	MIN	MINIMUM	RES	RESILIENT	VEST	VESTIBULE
AP	ALUMINUM	DP	DAMP/PROOFING	GR	GRADE	MIR	MIRROR	RET	RETURN	VIF	VERIFY IN FIELD
APC	ACCESS PANEL	DR	DOOR	GS	GALVANIZED STEEL	MISC	MISCELLANEOUS	RF	RADIO FREQUENCY	VR	VAPOR RETARDER
APPR	ARCH. PRECAST CONCRETE	DS	DOWN SPOUT	GSH	GLAZED STRUCTURAL UNIT	MLDG	MOLDING	RFG	ROOFING	VT	VINYL TILE
ARCH	APPROXIMATE	DT	DRAIN TILE	GSU	GLAZED STRUCTURAL UNIT	MO	MASONRY OPENING	RH	RIGHT HAND	VWB	VINYL WALL BASE
ASB	ARCHITECT(TURAL)	DTL	DETAIL	GW	GLAZED WALL TILE	MR	MAP RAIL	RL	RAIN LEADER	W	WEST
ATTEN	ASBESTOS	DTL	DETAIL	GYP	GYP/SUM	MT	MOUNT	RM	ROOM	W	WITH
AUTO	ATTENUATION	DWG	DRAWING	HP	HORSEPOWER	MTD	MOUNTED	RO	ROUGH OPENING	WB	WOOD BASE
AVG	AUTOMATIC	DWR	DRAWER	HB	HOSE BIBB	MTG	MOUNTING	RT	RUBBER TILE	WC	WATER CLOSET
AWP	AVERAGE			HBD	HARDBOARD	MTL	METAL	RTU	ROOFTOP UNIT	WD	WOOD BASE
	ACOUSTICAL WALL PANEL	E	EAST	HBC	HORIZONTAL BRICK COURSE(S)	MUL	MULLION	R/W	RIGHT OF WAY	WDW	WINDOW
	BOTTOM OF CURB	E	EAST	HC	HORIZONTAL COURSE(S) (CMU)	MWP	MEMBRANE WATERPROOFING	S	SOUTH	WGL	WIRE GLASS
BC	BOTTOM OF CURB	EA	EACH	HDR	HEADER	N	NORTH	SAN	SANITARY	WH	WATER HEATER
BBD	BULLETIN BOARD	EF	EXHAUST FAN	HDNW	HARDENER	N	NORTH	SAB	SOUND ATTENUATION BLANKET	W/O	WITHOUT
BLDG	BUILDING	EIFS	EXTERIOR INSULATION & FINISH SYSTEM	HDRW	HARDWOOD	OC	ON CENTER	SC	SOLID CORE	WP	WATERPROOFING
BLK	BLOCK	EJ	EXPANSION JOINT	HDRWR	HARDWARE	OD	OUTSIDE DIAMETER	SCD	SOLID CORE WOOD DOOR	WR	WORKING POINT
BLKG	BLOCKING	EL	ELEVATION	HGT	HEIGHT	OH	OVERHEAD	SD	STORM DRAIN	WRS	WATER RESISTANT
BM	BENCH MARK	ELEC	ELECTRICAL	HMT	HOLLOW METAL	OPNG	OPENING	SHLVG	SHELVING	WT	WEIGHT
BOT	BOTTOM OF CURB	ELEV	ELEVATOR	HORIZ	HORIZONTAL	OPP	OPPOSITE	SHT	SHEET		
BRK	BEARING	EMER	EMERGENCY	HP	HORSEPOWER	PRKG	PARKING	SHTH	SHEATHING		
BRM	BASMENT	EPBD	ELECTRICAL PANELBOARD	HR	HOUR	PC	PRECAST	SOF	SPRAY FIREPROOFING		
BTWN	BETWEEN	EPS	EXPANDED POLYSTYRENE	HS	HIGH STRENGTH	PERF	PERFORATE(D)	SPEC	SPECIFICATION		
		EPX	EPOXY	HT	HEIGHT	PERM	PERIMETER	SPR	SPRINKLER		
		EQ	EQUAL	HTG	HEATING	PIP	POURED IN PLACE	SQ	SQUARE		
		EQUIP	EQUIPMENT	HTR	HEATER	PL	POURED IN PLACE	SS	STAINLESS STEEL		
		EST	ESTIMATE	HVAC	HEATING, VENTILATING AIR CONDITIONING	PLM	PLASTIC LAMINATE	ST	STREET		
		EW	EACH WAY	HW	HOT WATER	PLAS	PLASTER	STA	STATION		
		EWC	ELECTRIC WATER COOLER	ID	INSIDE DIAMETER	PLMB	PLUMBING	STC	SOUND TRANSMISSION COEF.		
		EXH	EXHAUST	IN	INCH	PLYVD	PLYWOOD	STD	STANDARD		
		EXIST	EXISTING	INFO	INFORMATION	PNL	PANEL	STL	STEEL		
		EXP	EXPANSION	INST	INSTALL(ATION)	PNT	PAINT	STOR	STORAGE		
		EXP C	EXPOSED CONSTRUCTION	INSUL	INSULATE(ION)	POLY	POLYETHYLENE	STRUCT	STRUCTURAL		
		EXT	EXTERIOR	INT	INTERIOR	PR	PAIR	SUSP	SUSPENSION		
		FB	FACE BRICK	INV	INVERT	PREFAB	PREFABRICATE(D)	SYM	SYMMETRY(RICAL)		
		FD	FLOOR DRAIN	JAN	JANITOR	PREP	PREPARE	T	TREAD		
		FE	FIRE EXTINGUISHER	JCT	JUNCTION BOX	PROJ	PROJECT	TB	TACKBOARD		
		FEC	FIRE EXTINGUISHER CABINET	JCT	JUNCTION	PSF	POUNDS PER SQUARE FOOT	TBD	TO BE DETERMINE		
		FF	FINISHED FLOOR	JST	JOIST	PBS	POUNDS PER SQUARE INCH	T&B	TOP & BOTTOM		
		FFE	FINISHED FLOOR ELEVATION	JT	JOINT	PTN	PARTITION	TOC	TOP OF CURB		
		FGL	FIBERGLASS	KIT	KITCHEN	PVC	POLYVINYL CHLORIDE	TEL	TELEPHONE		
		FH	FIRE HYDRANT	K-O	KNOCK-OUT	PVMT	PAVEMENT	T&G	TONGUE & GROOVE		
		FHC	FIRE HOSE CABINET	LAB	LABORATORY			THHD	THRESHOLD		
		FHV	FIRE HOSE VALVE CABINET	LAM	LAMINATE			THK	THICK(NESS)		
		FIN	FINISH(ED)	LAV	LAVATORY			THRU	THROUGH		
		FIX	FIXTURE	LBS	POUNDS			TOS	TOP OF STEEL		
		FLSHG	FLASHING	LF	LINEAR FEET (FOOT)			TOW	TOP OF WALL		
		FLR	FLOOR	LH	LEFT HAND			TPT	TEXTURES PAINT		
		FLUR	FLUORESCENT	LKR	LOCKER			TRT	TREAT(ED)		
		FND	FOUNDATION	LT	LIGHT			TOS	TOP OF SLAB		
		FOC	FACE OF CONCRETE	LVR	LOUVER			TV	TELEVISION		
		FOM	FACE OF MASONRY	LW	LIGHTWEIGHT			TYP	TYPICAL		
		FR	FIRE RATED								
		FRMG	FRAMING								
		FRP	FIBERGLASS REIN PLASTIC								
		FRT	FIBER RETARDANT TREATED								
		FT	FOOT, FEET								
		FTG	FOOTING								
		FURN	FURNITURE								
		FURR	FURRING								
		FVC	FIRE VALVE CABINET								

SYMBOLS

GRAPHIC SCALE
0' 10' 30' 60' 100'

Room name B-2
150 SF
200 SF/OCC. = 20

AREA TAG (LIFE SAFETY)
AREA NAME | OCCUPANCY TYPE
AREA
OCCUPANCY FACTOR =
OCCUPANTS

View Name
1/8" = 1'-0"

EXT OR INT ELEVATIONS (AS DRAWN ON PLANS)
ELEVATION NUMBER (ON TOP)
DRAWING NUMBER WHERE ELEVATION IS DRAWN

WINDOW TAG

CURTAIN PANEL TAG

DETAIL TAG

DOOR TAG

FLOOR TAG

FURNITURE SYSTEM TAG

FURNITURE TAG

KEYNOTE TAG

MATERIAL TAG

RAILING TAG

REVISION TAG

Room name
101
150 SF

ROOM TAG
ROOM NAME
ROOM NUMBER
AREA

SPECIALITY EQUIPMENT TAG

STAIR TAG
RISERS @ HEIGHT
TREAD DEPTH

WALL/PARTITION TAG

SECTION/ELEVATION SPOT LEVEL

SMALL ANNOTATION ARROW

CENTER MARK

CENTER LINE MARK

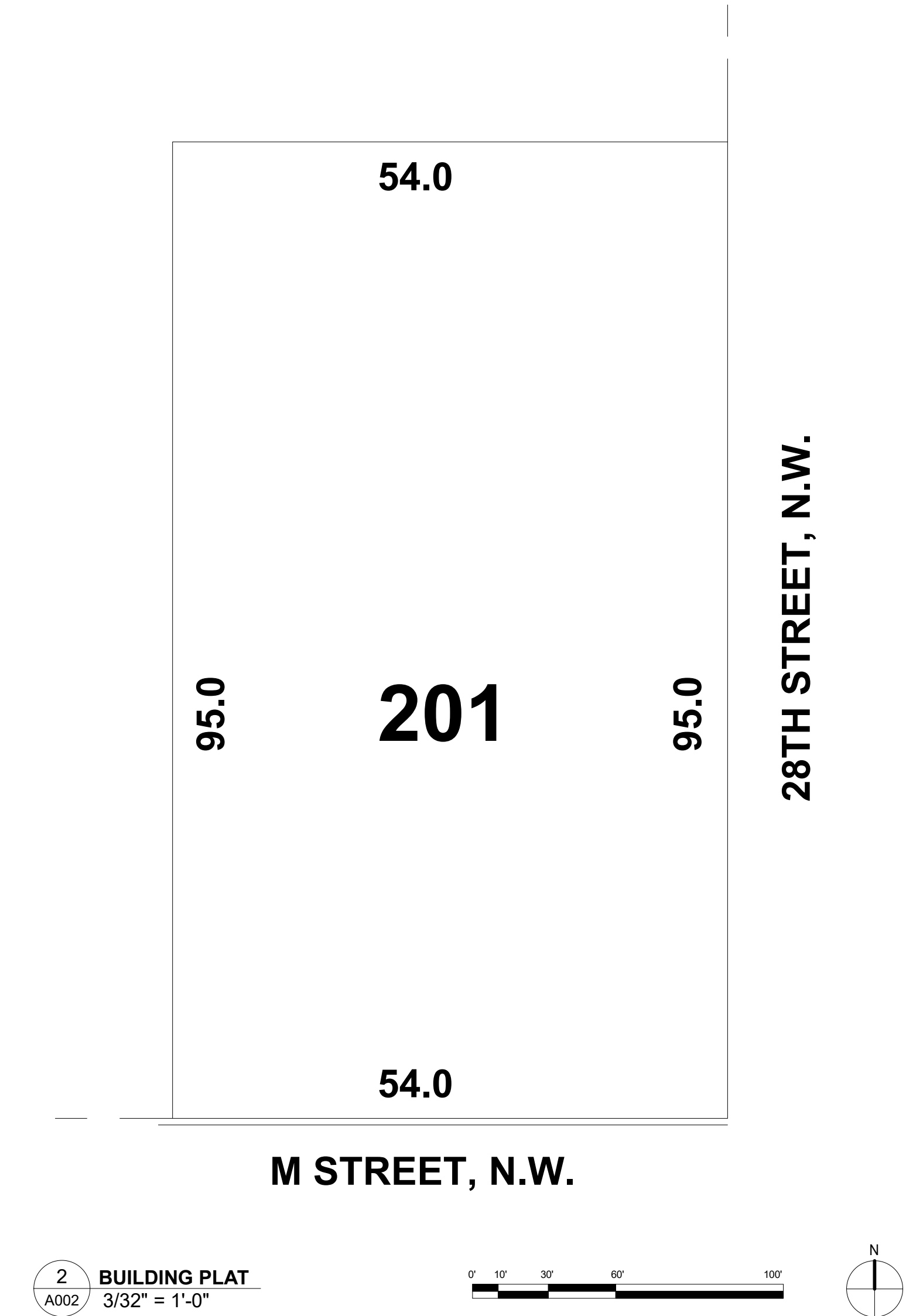
NORTH ARROW 2

SLOPE SYMBOL (SECTION/ELEVATION)

SLOPE LINE (PLAN)

20R @ 7 1/2"
11" EQ T

BUILDING PLAT



INDEX OF DRAWINGS

Sheet Number	Sheet Name	BZA APPLICATION
A001	COVER SHEET	X
A002	INDEX AND ABBREVIATION, SYMBOLS AND LEGENDS	X
A003	LIFE SAFETY PLAN	X
A004	EXISTING EXTERIOR IMAGES	X
A006	EXISTING FIRST FLOOR PLAN	X
A007	EXISTING SECOND FLOOR PLAN	X
A008	EXISTING LOFT FLOOR PLAN	X
A009	EXISTING BUILDING SECTION	X
A010	EXISTING EXTERIOR ELEVATIONS	X
A103	FIRST FLOOR PLAN	X
A104	SECOND FLOOR PLAN	X
A105	LOFT PLAN	X
A201	EXTERIOR ELEVATIONS	X
A301	EXTERIOR ELEVATIONS AND SECTIONS	X
A302	EXTERIOR ELEVATIONS AND SECTIONS	X
A903	WALL PARTITION SCHEDULE, HARDWARE SCHEDULE AND DETAIL	X
M000	MECHANICAL NOTES	X
M004	NEW MECHANICAL LAYOUT 2ND. FLOOR PLAN	X
M005	NEW MECHANICAL LAYOUT LOFT FLOOR PLAN	X
M006	VENTILATION SYSTEM, SCHEDULE AND RISER DIAGRAM	X
E000	NOTES, EXISTING POWER RISER	X
E004	NEW ELECTRICAL LAYOUT 2ND. FLOOR PLAN	X
E005	NEW ELECTRICAL LAYOUT LOFT FLOOR PLAN	X
E006	EXISTING 800 AMPS PANEL PANELS C & B	X
EE01	ENERGY EFFICIENCY SCHEDULE	X
P000	PLUMBING NOTES	X
P004	EXISTING PLUMBING LAYOUT 2ND. FLOOR PLAN	X
P005	NEW PLUMBING LAYOUT LOFT FLOOR PLAN	X
S001	STRUCTURAL NOTES	X
S002	SPECIAL INSPECTIONS	X
S101	EXTERIOR EGRESS STAIR FOUNDATION PLAN	X
S102	EXTERIOR EGRESS STAIR FRAMING PLAN	X
S201	STRUCTURAL SECTIONS	X
S202	STRUCTURAL SECTIONS	X

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2805 BOND ST. EQUITIES, LLC
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SUBMISSIONS

Date	Description
02.09.2021	BZA APPLICATION

REVISIONS

No.	Date	Description
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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 2007

INDEX AND ABBREVIATION, SYMBOLS AND LEGENDS

SEAL & SIGNATURE
PROJECT OF COLUMBIA
REGISTERED ARCHITECT
No. 4296

PROJECT No.: 1123.00
DWG No.:
A002

OCCUPANCY INFORMATION

Original Address	Bay Reference	Specific Location		Use		Certificate of Occupancy			CoFO #	Date Issued
		Level	Portion	Current	Proposed	AREA	SQ.FT. PER PERSON	OCCUPANCY LOAD		
2801	#1	Basement	All	Office - B	No Change	2,640	100 SQ.FT.	26	8172760	9/7/95
			Partial	Office - B	Mercantile - M	2,664	30 SQ.FT.	88	CO1500318	11/9/14
		1st	Partial	Office - B	No Change	837	100 SQ.FT.	8	8174297	3/26/96
			Partial	Office - B	No Change	1,316	100 SQ.FT.	13	8172760	9/7/95
		2nd	All	Office - B	No Change	2,640	100 SQ.FT.	26	8172760	9/7/95
2803	#2	Basement	All	Office - B	No Change	2,640	30 SQ.FT.	88	CO1500318	11/9/14
			Partial	Office - B	Mercantile - M	2,664	30 SQ.FT.	88	8174297	3/26/96
		1st	Partial	Office - B	No Change	837	100 SQ.FT.	8	8172760	9/7/95
			Partial	Office - B	No Change	1,316	100 SQ.FT.	13	8172760	9/7/95
		2nd	All	Office - B	No Change	837	100 SQ.FT.	8	8172760	9/7/95
2805	#3	Basement	All	Fast Food A-2	No Change	N.I.C.	N.I.C.	CO1702540	5/31/17	
			1st	All	Gym or Exercise Studio	No Change	3,843	50 SQ.FT.	77	CO1302977
		2nd	All	Gym or Exercise Studio	No Change	3,843	50 SQ.FT.	77	CO1302977	8/22/13

EGRESS INFORMATION

LIFE SAFETY DIAGRAM LEGEND

-----> TRAVEL DISTANCE

UNOCCUPIED AREA N.I.C.

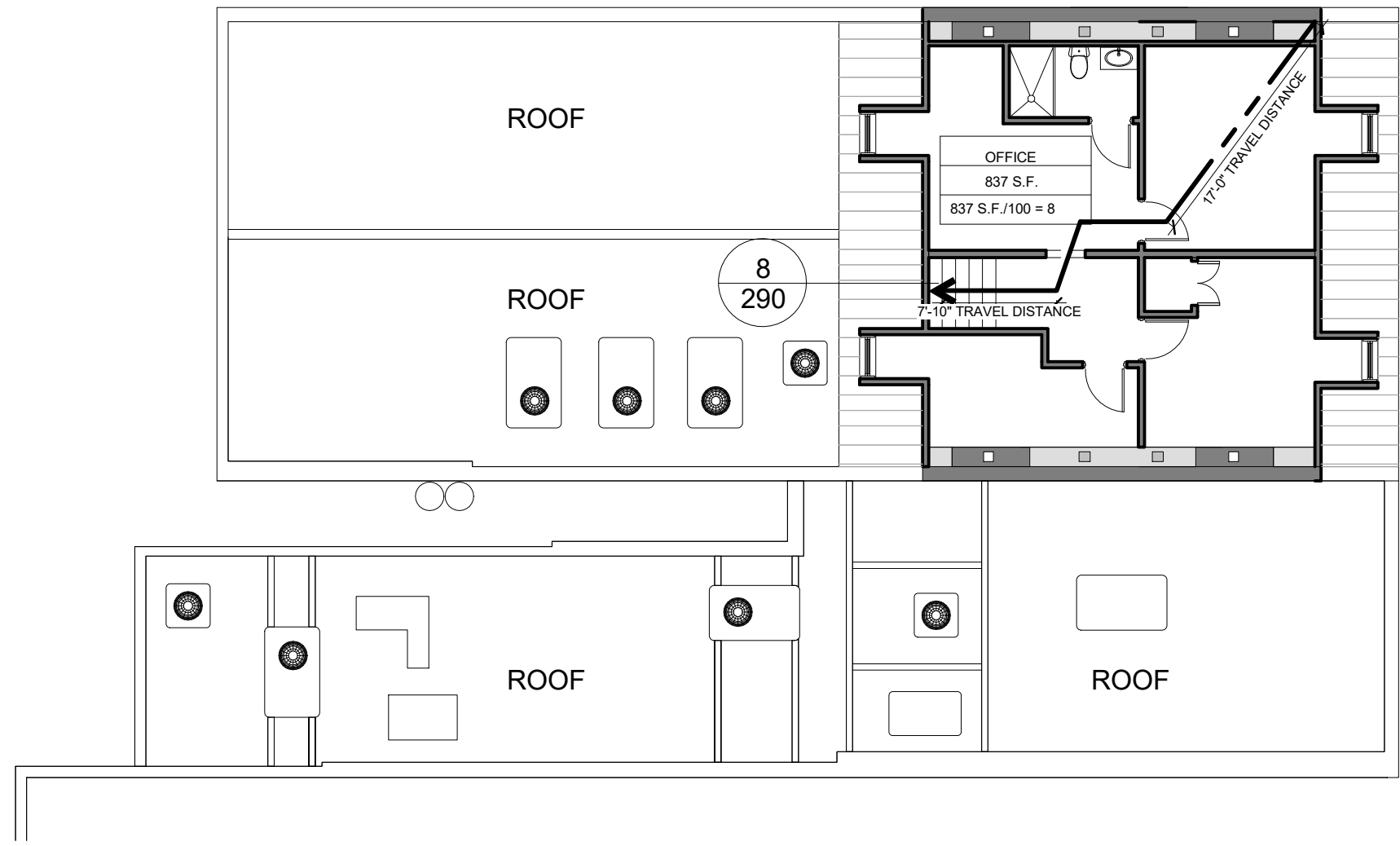
AREA NOT IN SCOPE OF WORK

X = # OF OCCUPANTS
Y = EXIT CAPACITY

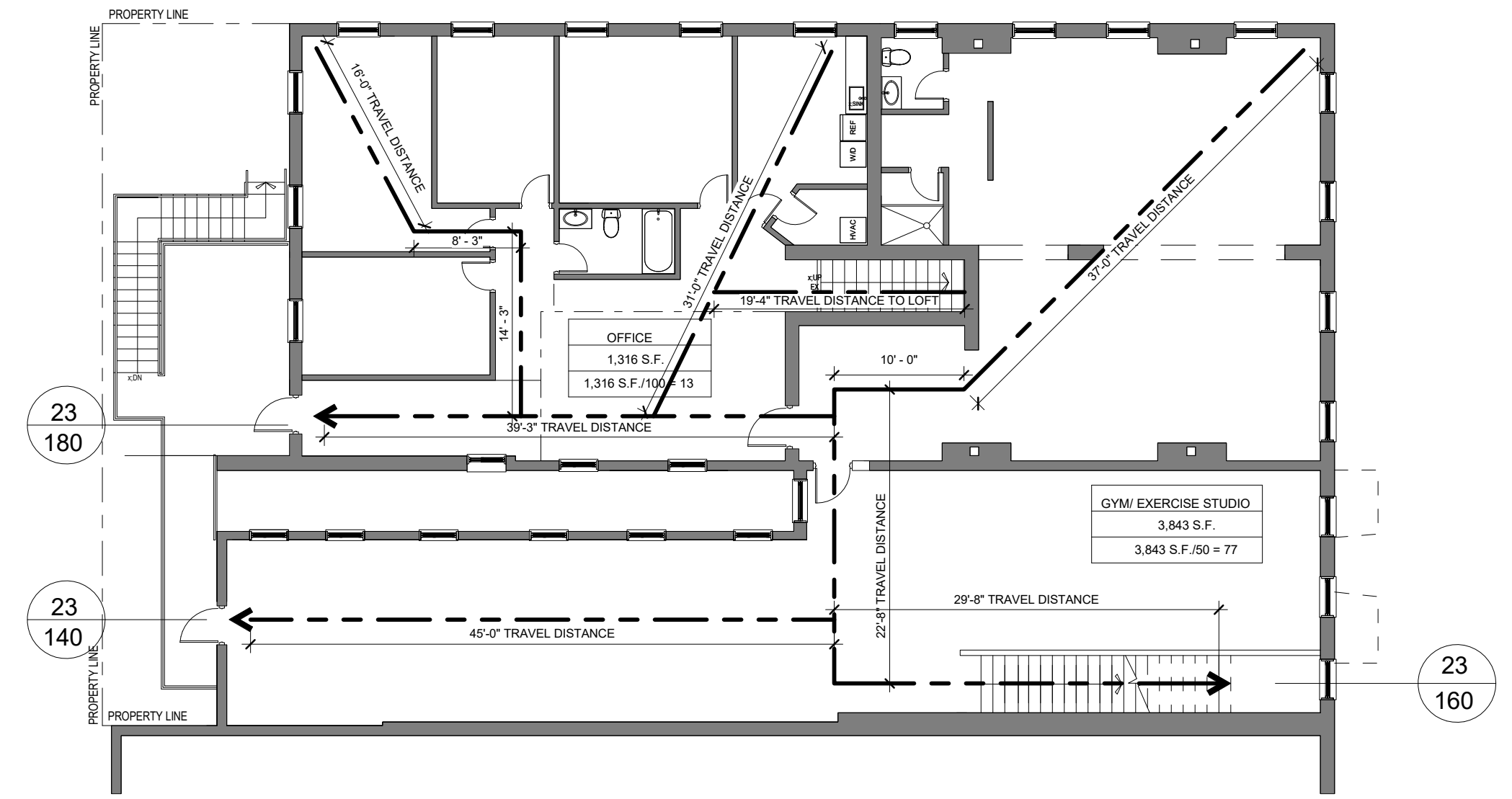
S.F. = SQUARE FOOT
OCC = OCCUPANCY PER PERSON

FIRE RESISTENCE REQUIREMENTS: TYPE III B

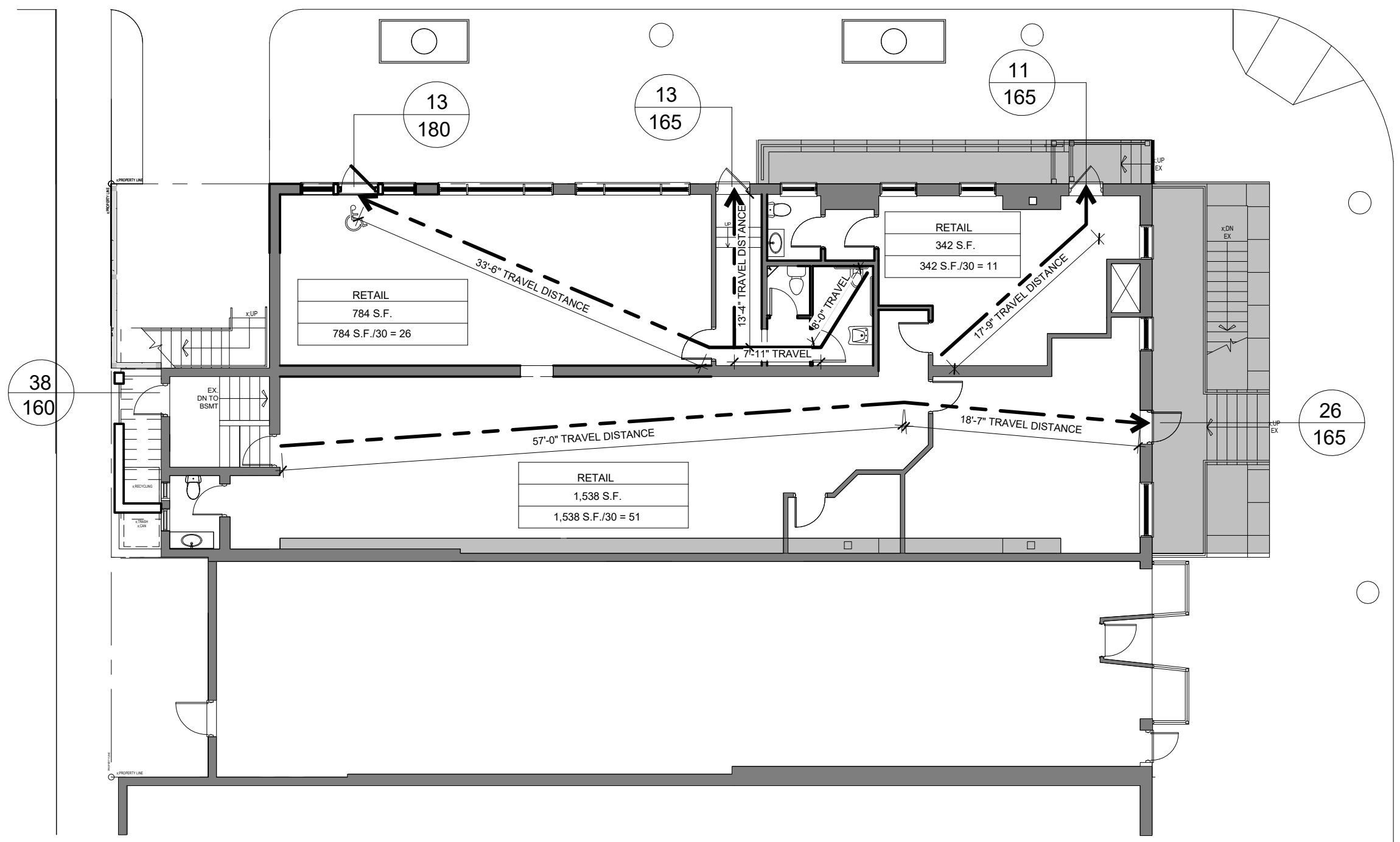
- STRUCTURAL FRAME: 0 HOURS
- BEARING WALLS - EXTERIOR: 2 HOURS
- BEARING WALLS - INTERIORS: 0 HOURS
- NON-BEARING WALLS: 0 HOURS
- FLOOR CONSTRUCTION: 0 HOURS
- ROOF CONSTRUCTION: 0 HOURS
- DEMISING WALL: 0 HOURS



3 LIFE SAFETY PLAN - LOFT
3/32" = 1'-0"



2 LIFE SAFETY PLAN - SECOND FLOOR
3/32" = 1'-0"



1 LIFE SAFETY PLAN - FIRST FLOOR
3/32" = 1'-0"

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SUBMISSIONS

Date	Description
02.09.2021	BZA APPLICATION

REVISIONS

No.	Date	Description

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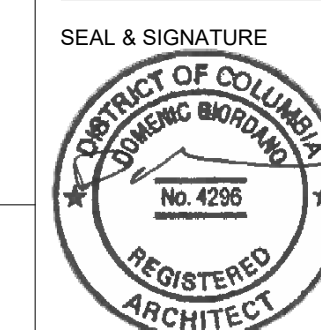
PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

LIFE SAFETY PLAN

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No:



A003

EXISTING EXTERIOR IMAGES



Existing Side 2801 M St.

Existing wood stair to be removed

Existing side stair to remain, replace broken pickets to match existing

Basement window well area to remain as is



Existing Side/Rear 2805 M St.

The banner and marketing signs removed

Remove bracket sign at the corner



Existing Front/Rear 2805 M St.

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PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

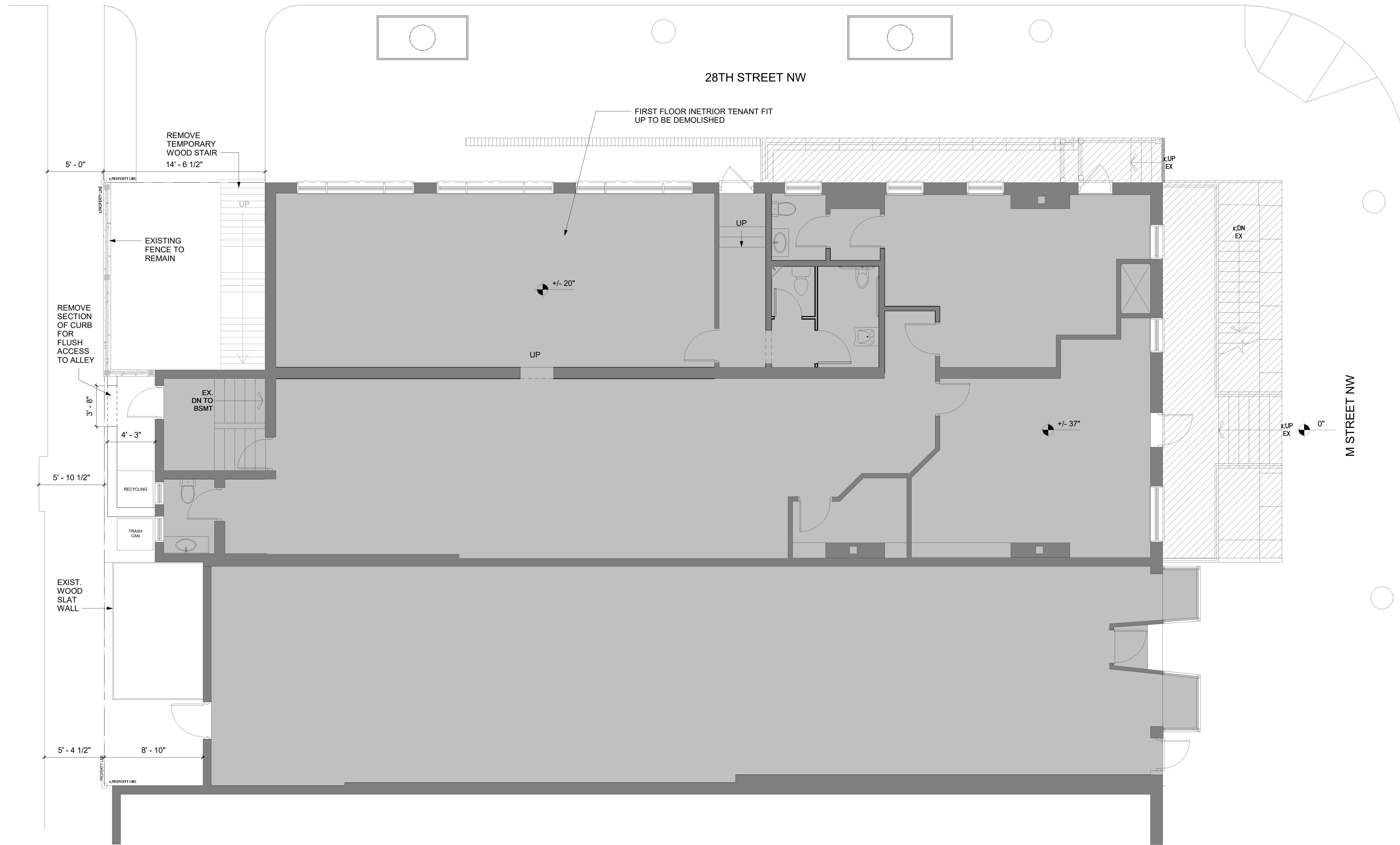
2805 M STREET, NW
WASHINGTON, DC 2007

EXISTING EXTERIOR IMAGES

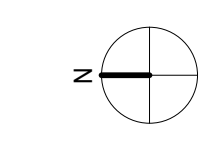
EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No.:

PROJECT No.: 1123.00
DWG No.:
A004

EXISTING FIRST FLOOR PLAN



1 FIRST FLOOR PLAN
 A006 / 1/4" = 1'-0"



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PROJECT
 ALTERATIONS AND REPAIRS
 AT 2805 M ST, NW
 2805 M STREET, NW
 WASHINGTON, DC 2007

EXISTING FIRST FLOOR PLAN

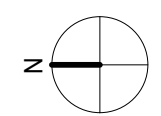
SEAL & SIGNATURE 	PROJECT No.: 1123.00 DWG No.: A006
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EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

EXISTING SECOND FLOOR PLAN



1 EXISTING SECOND FLOOR PLAN
A007 1/4" = 1'-0"



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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

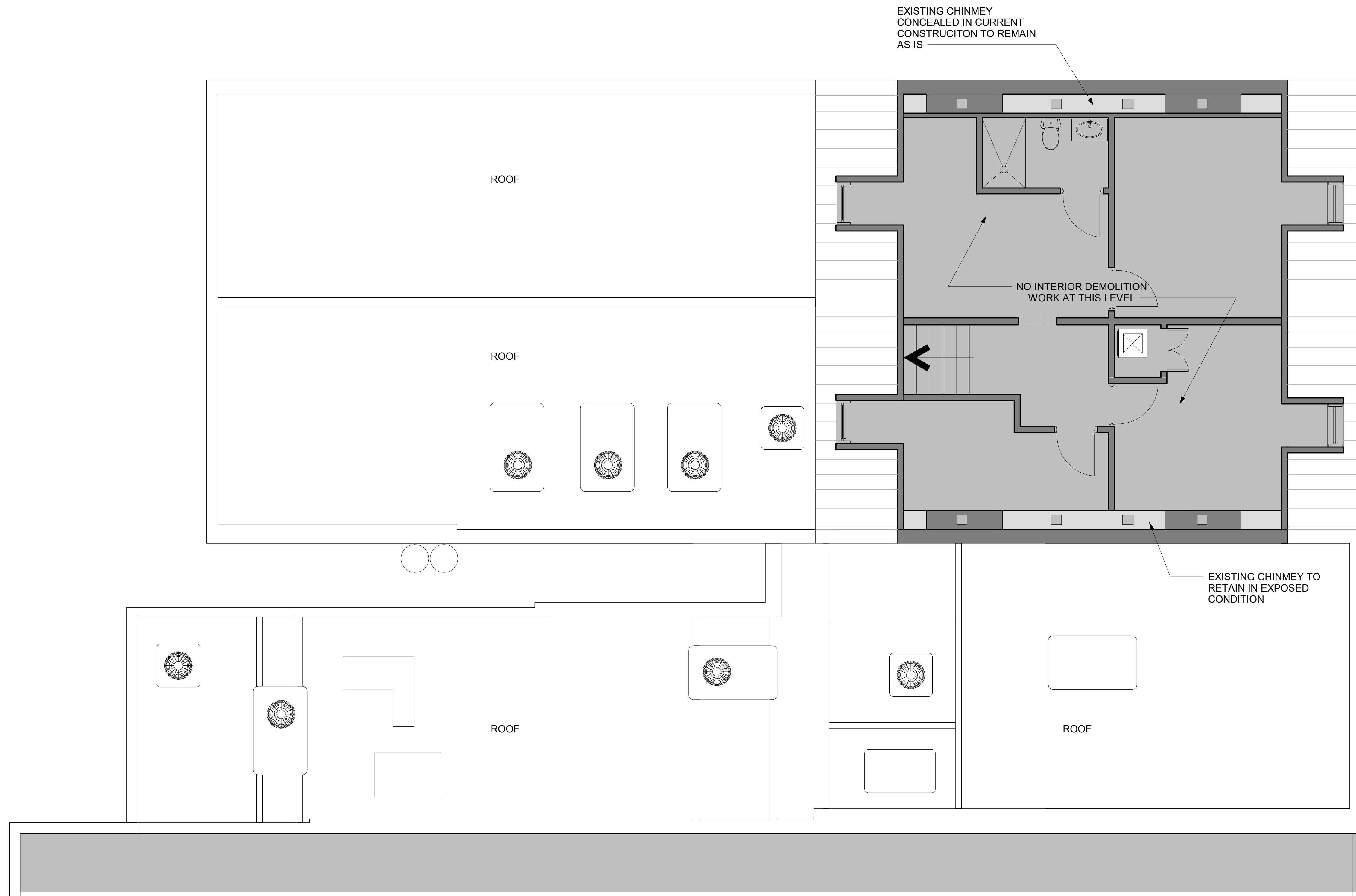
EXISTING SECOND FLOOR PLAN

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No:

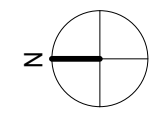
A007

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

EXISTING LOFT FLOOR PLAN



1 EXISTING LOFT FLOOR PLAN
A008 1/4" = 1'-0"



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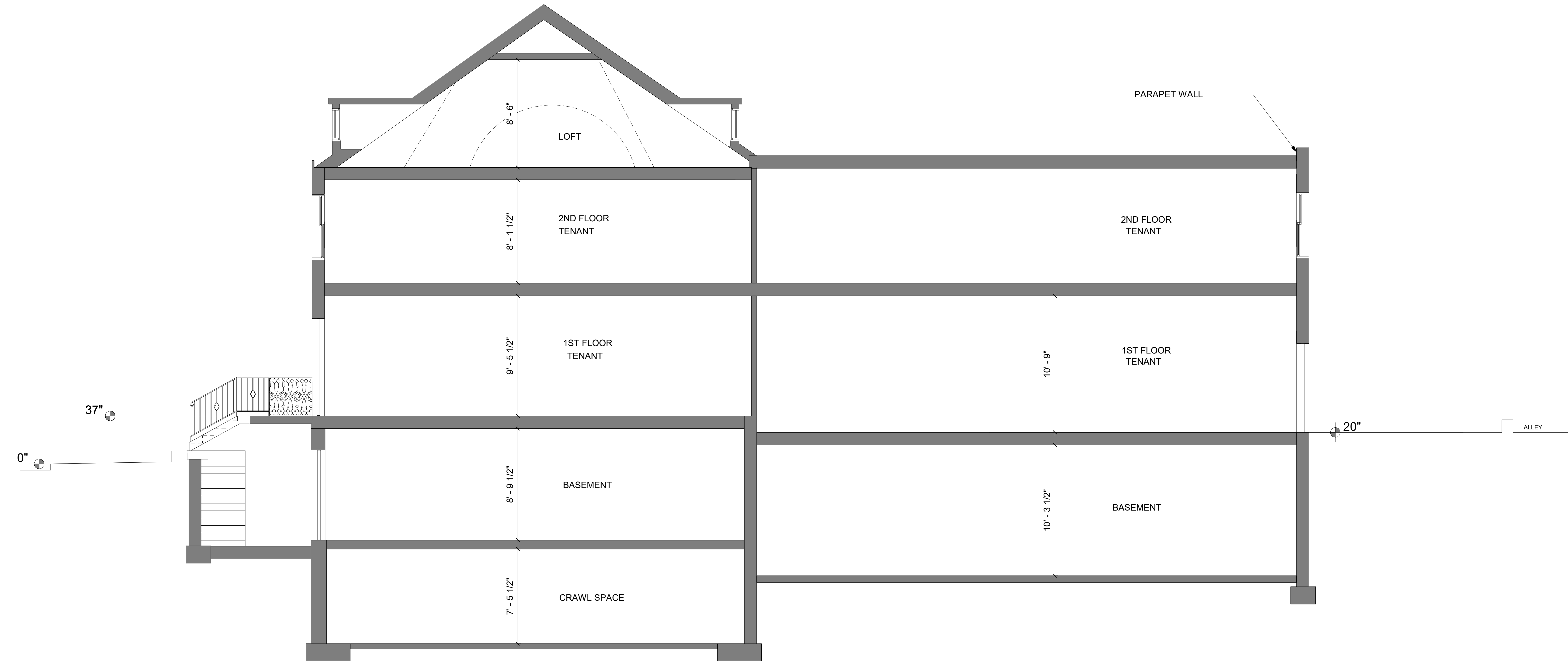
PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING LOFT FLOOR PLAN

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No.:
A008
REGISTERED ARCHITECT

EXISTING BUILDING SECTION



1
A009 EXISTING EXTERIOR SECTION VIEW
1/4" = 1'-0"

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PROJECT

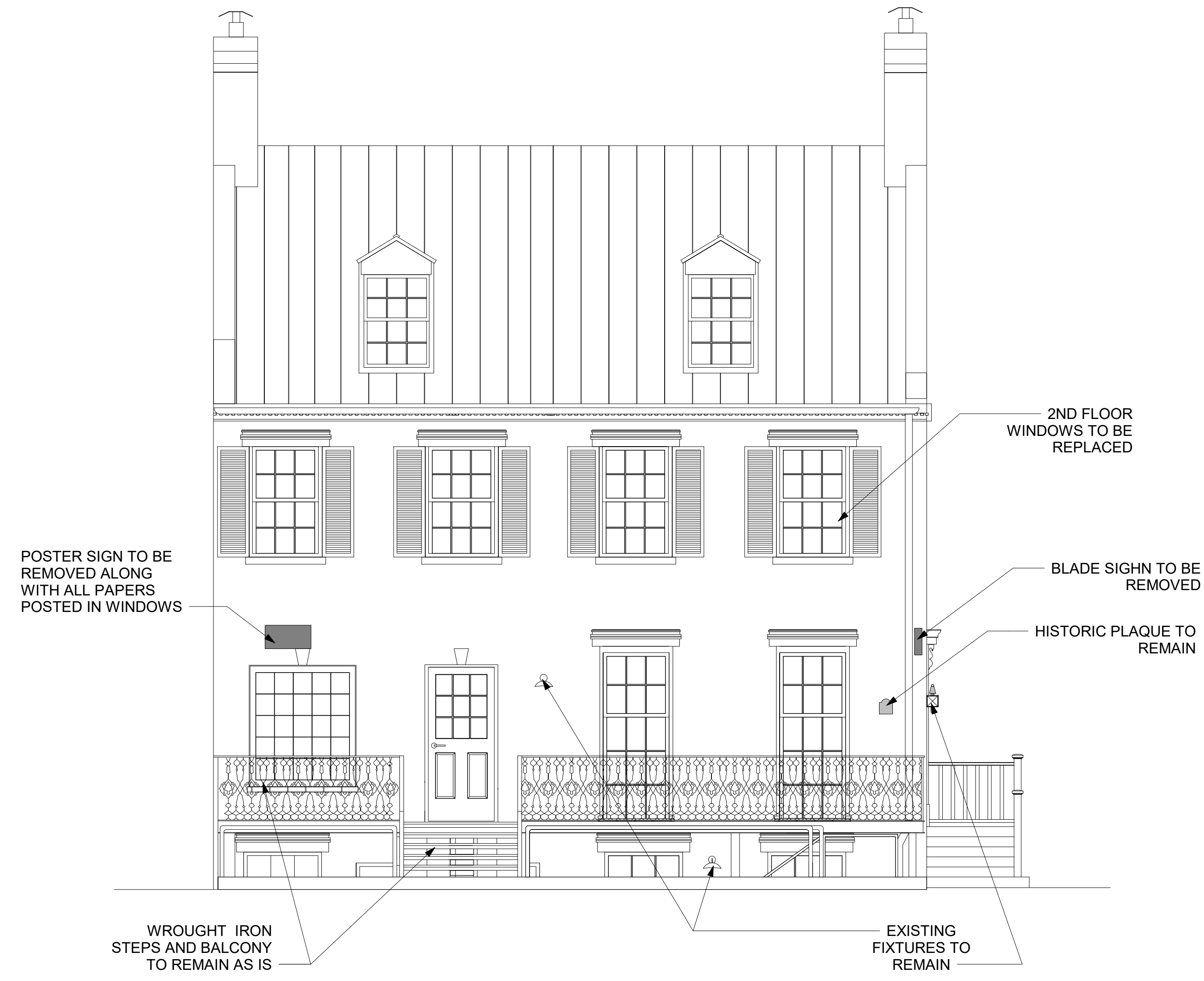
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXISTING BUILDING SECTION

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No.:
A009

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.



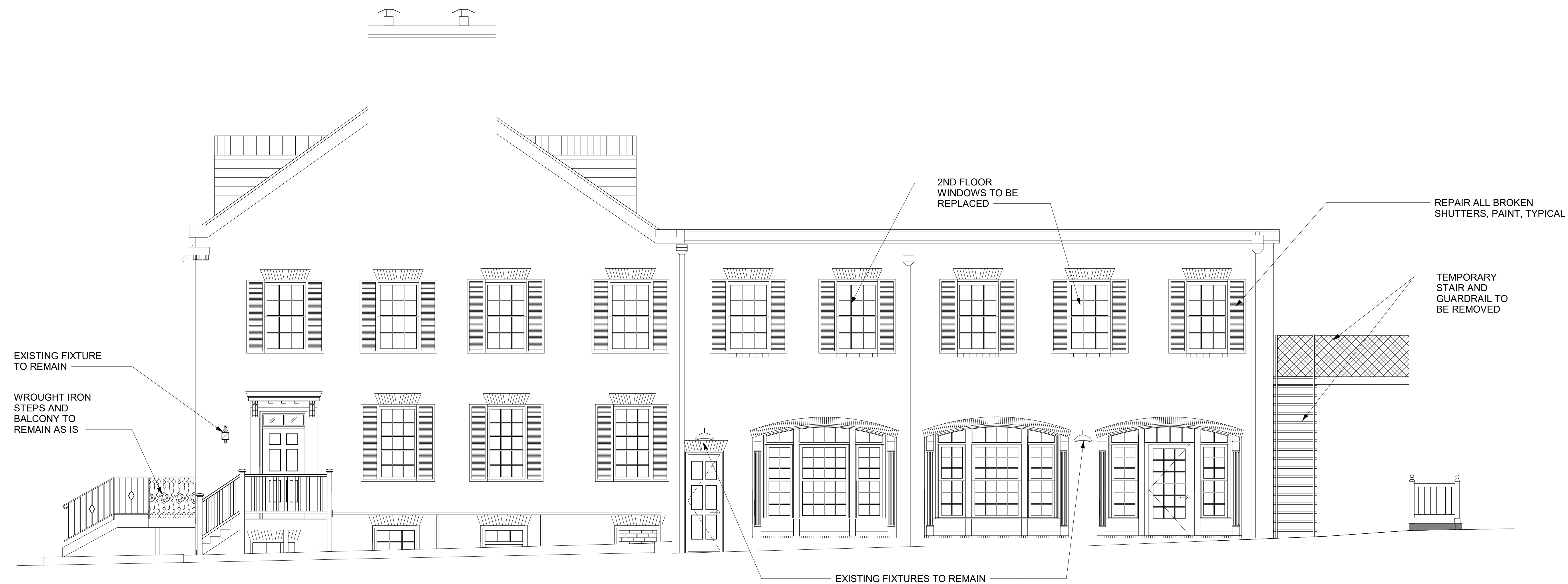
2 EXISTING EXTERIOR FRONT ELEVATION - M ST
A010 1/4" = 1'-0"



1 EXISTING EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY
A010 1/4" = 1'-0"

EXISTING EXTERIOR FRONT ELEVATION - M ST

EXISTING EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY



3 EXISTING EXTERIOR SIDE ELEVATION - 28TH ST
A010 1/4" = 1'-0"

EXISTING EXTERIOR SIDE ELEVATION - 28TH ST

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

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ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
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WASHINGTON, DC 2007

EXISTING EXTERIOR ELEVATIONS

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:
A010

FIRST FLOOR PLAN



KEY LEGEND:

- AREA OF WORK
- AREA NOT IN SCOPE

1 FIRST FLOOR PLAN
A103 1/4" = 1'-0"

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REVISIONS

No.	Date	Description

CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW WINDOWS (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑤ REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

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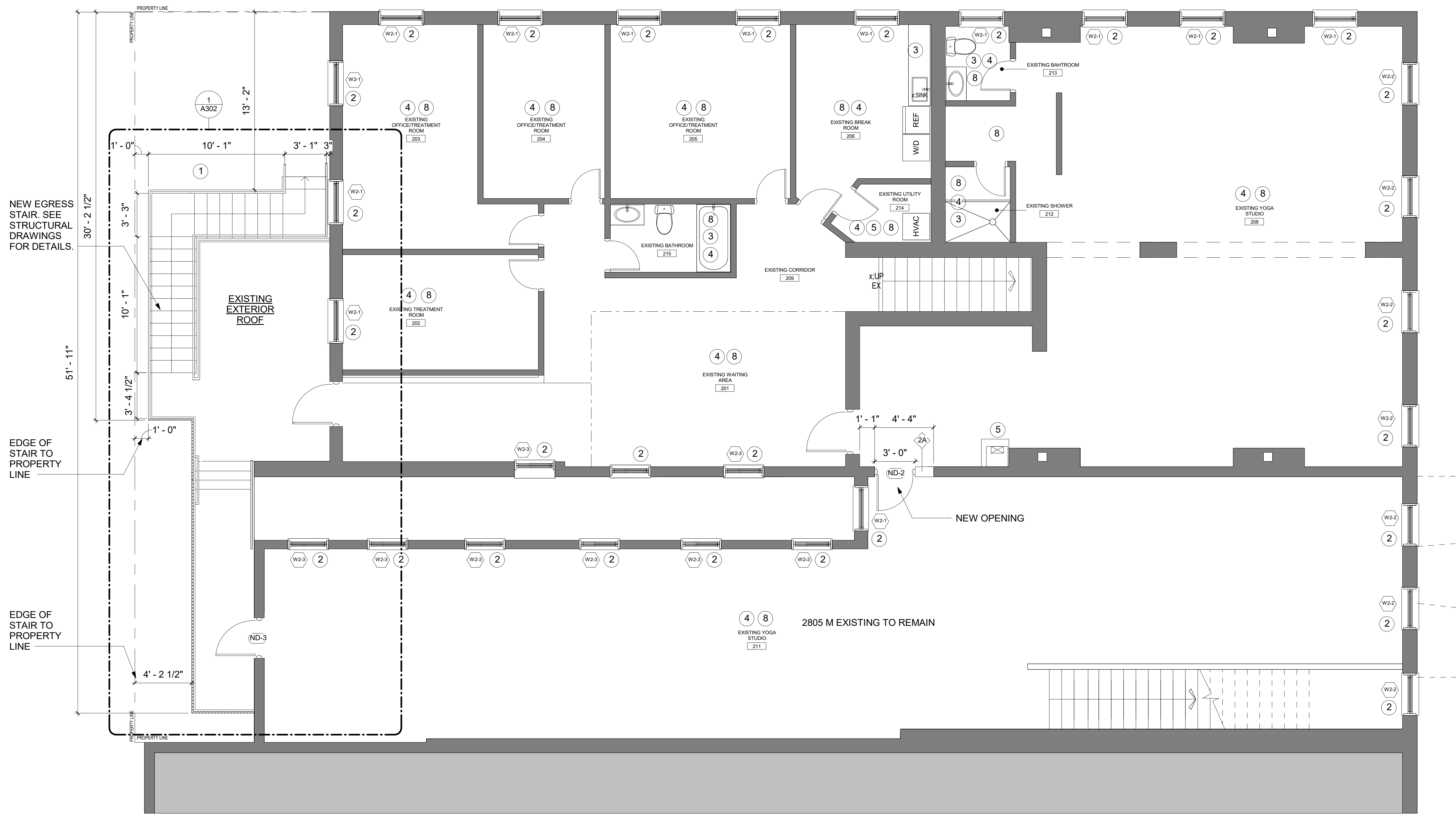
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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 2007

FIRST FLOOR PLAN

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:
A103

SECOND FLOOR PLAN



1 CONSTRUCTION - SECOND FLOOR PLAN
A104 1/4" = 1'-0"

KEY LEGEND:

- AREA OF WORK
- AREA NOT IN SCOPE

CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- 1 INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- 2 INSTALL NEW WINDOWS (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- 3 REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- 4 REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- 5 REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- 6 PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- 7 PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- 8 REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

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SUBMISSIONS

Date	Description
02.09.2021	BZA APPLICATION

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PROJECT

ALTERATIONS AND REPAIRS
 AT 2805 M ST, NW

2805 M STREET, NW
 WASHINGTON, DC 2007

SECOND FLOOR PLAN

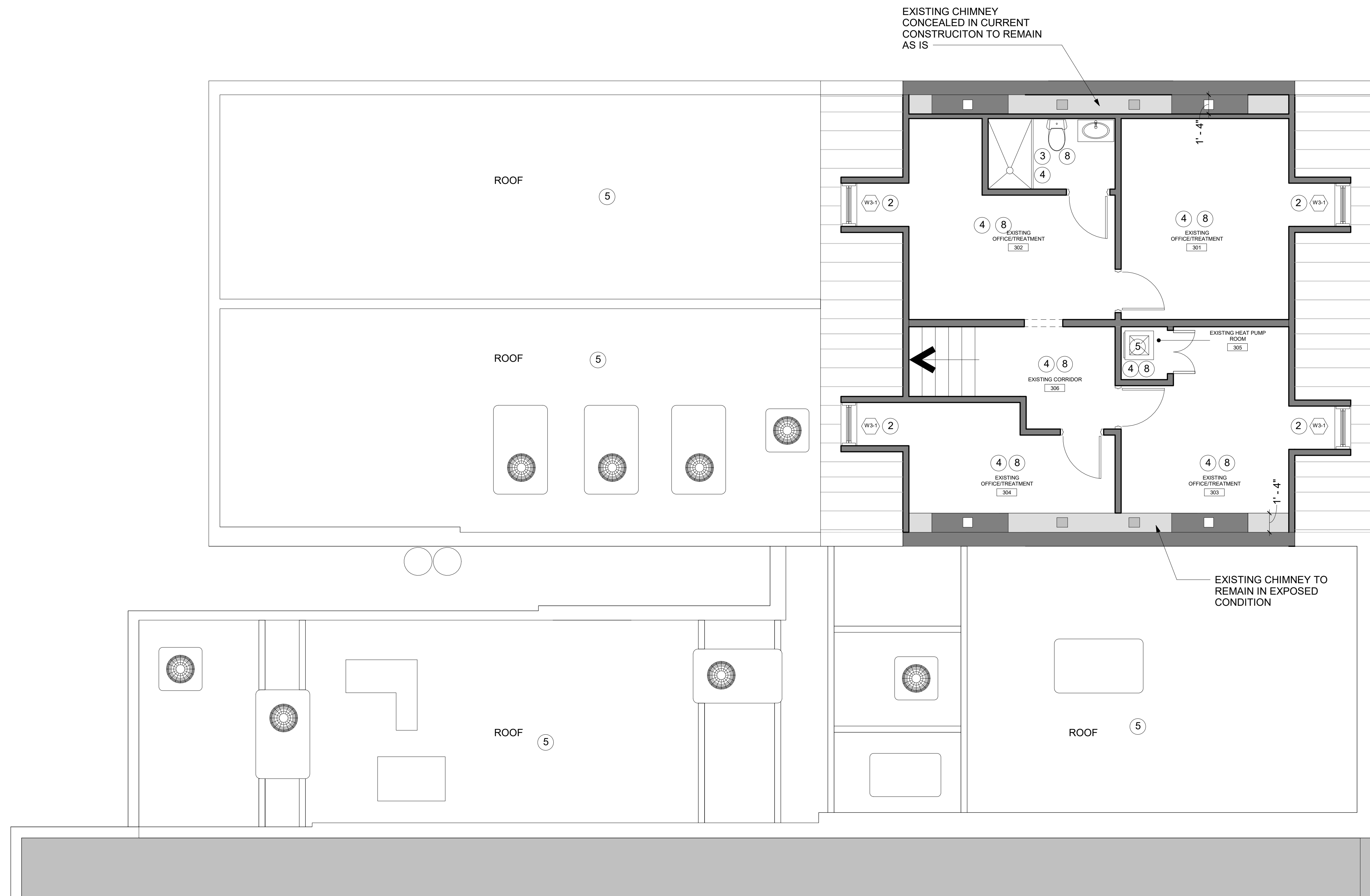
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PROJECT OF COLUMBIA
 CHRISTIE DESIGN GROUP
 No. 4296
 REGISTERED
 ARCHITECT

PROJECT No.: 1123.00
 DWG No.:

A104

LOFT FLOOR PLAN



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KEY LEGEND:

- AREA OF WORK
- AREA NOT IN SCOPE

1 CONSTRUCTION - LOFT FLOOR PLAN
A105
1/4" = 1'-0"

CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIRDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- 1) INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
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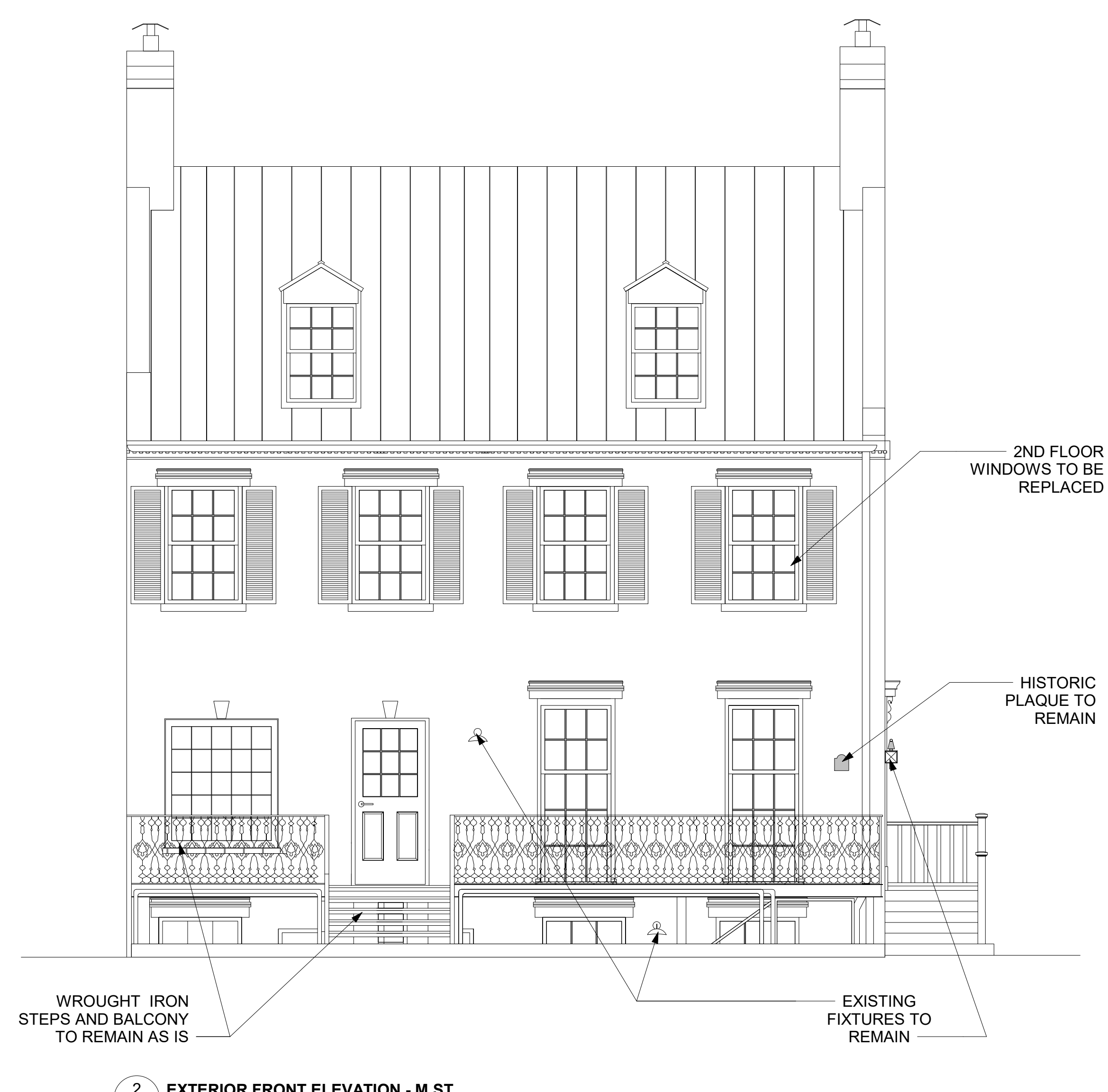


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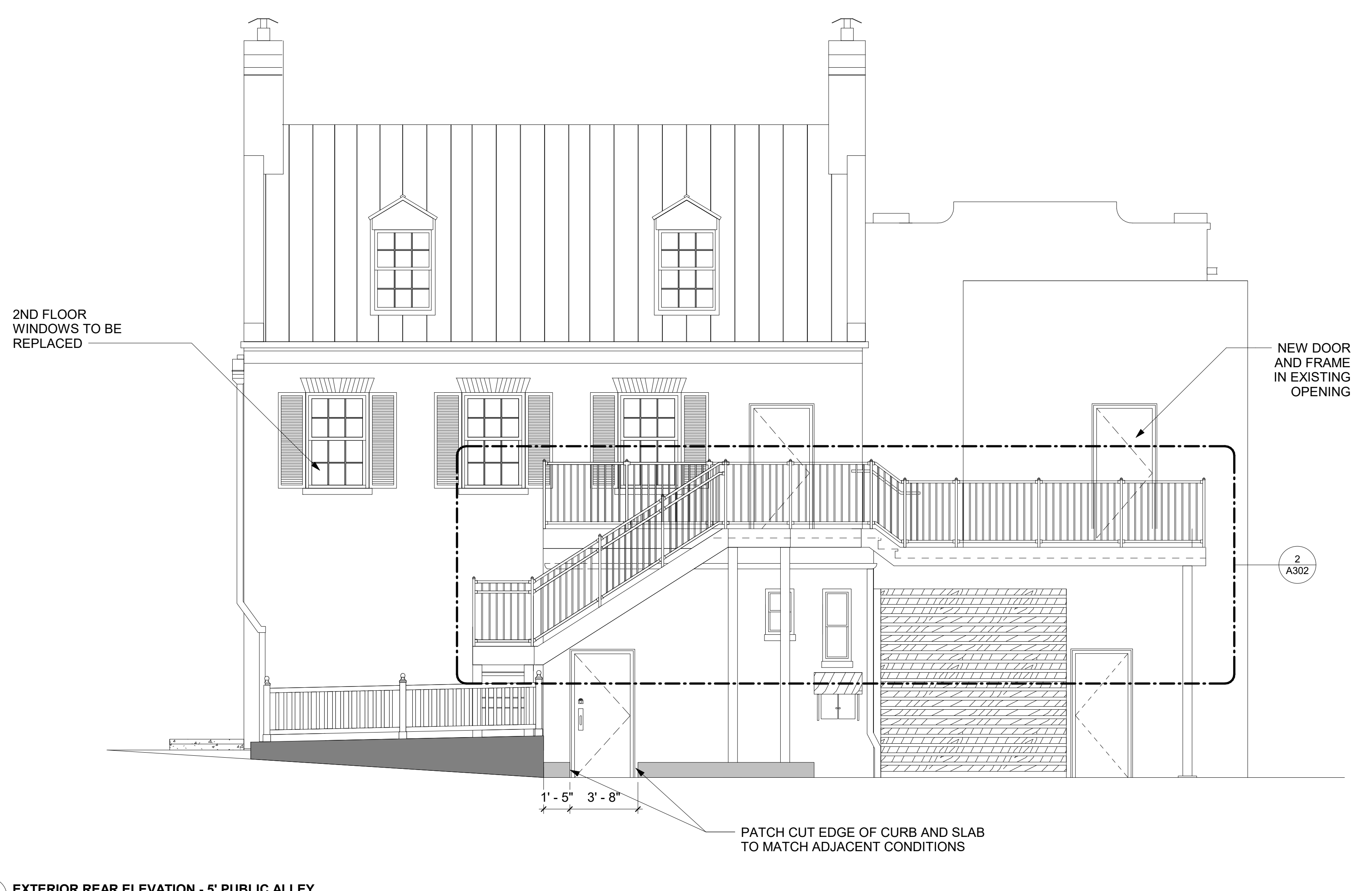
PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 2007

LOFT PLAN

SEAL & SIGNATURE
 PROJECT No.: 1123.00
DWG No:
A105



2
A201
EXTERIOR FRONT ELEVATION - M ST
1/4" = 1'-0"



1
A201
EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY
1/4" = 1'-0"

EXTERIOR FRONT ELEVATION - M ST

EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY

EXTERIOR FINISH SCHEDULE

PAINT	APPLICAITON
DECORATOR'S WHITE: OC-149	BRICK
METROPOLITAN: AF-690	WINDOWS
KENDALL CHARCOAL: HC-166	SHUTTERS
BLACK IRON: 2120	BALCONY
OLD NAVY: 2063-10	DOORS

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ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXTERIOR ELEVATIONS

SEAL & SIGNATURE

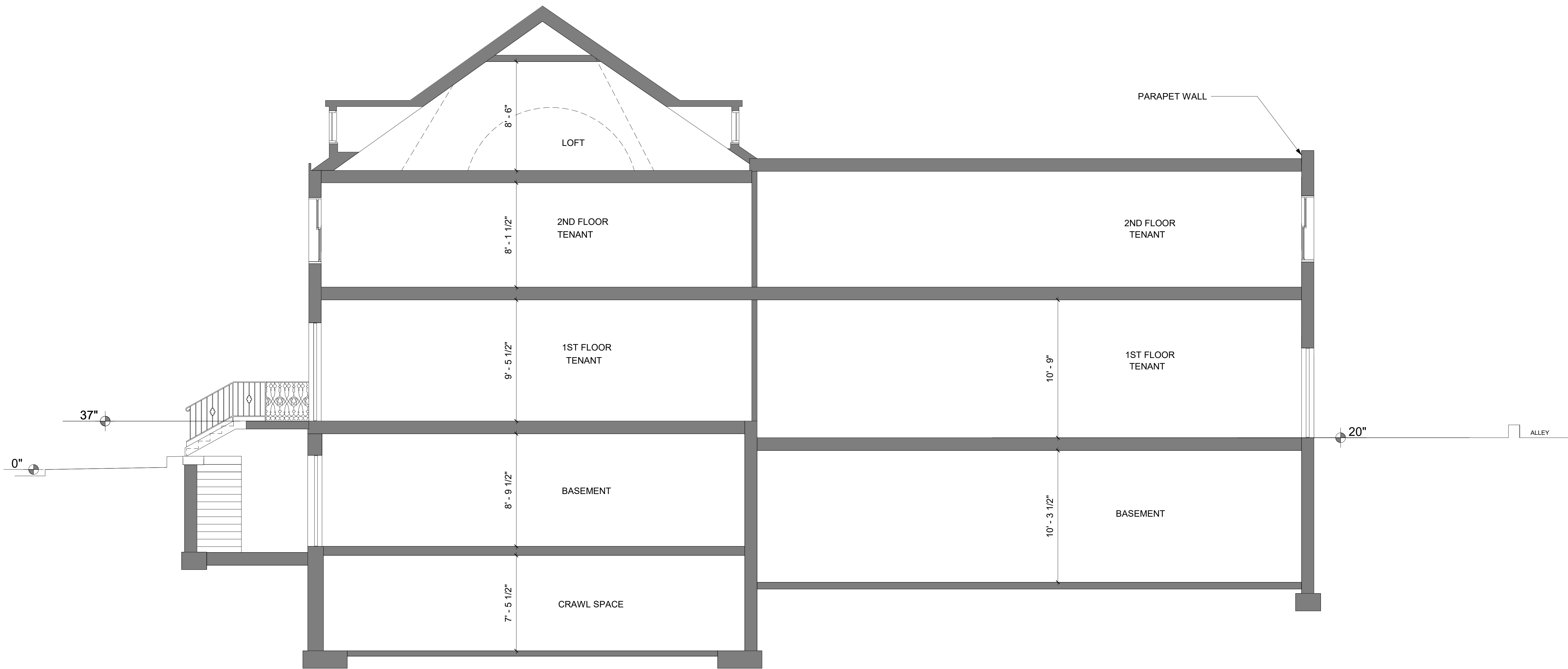
PROJECT No.: 1123.00
DWG No.:

A201



3
A201
EXTERIOR SIDE ELEVATION - 28TH ST
1/4" = 1'-0"

EXTERIOR SIDE ELEVATION - 28TH ST



1 EXISTING EXTERIOR SECTION
A301 1/4" = 1'-0"

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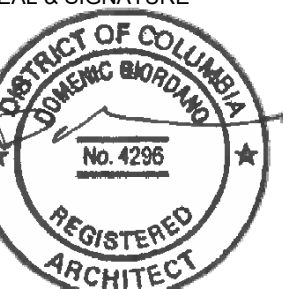


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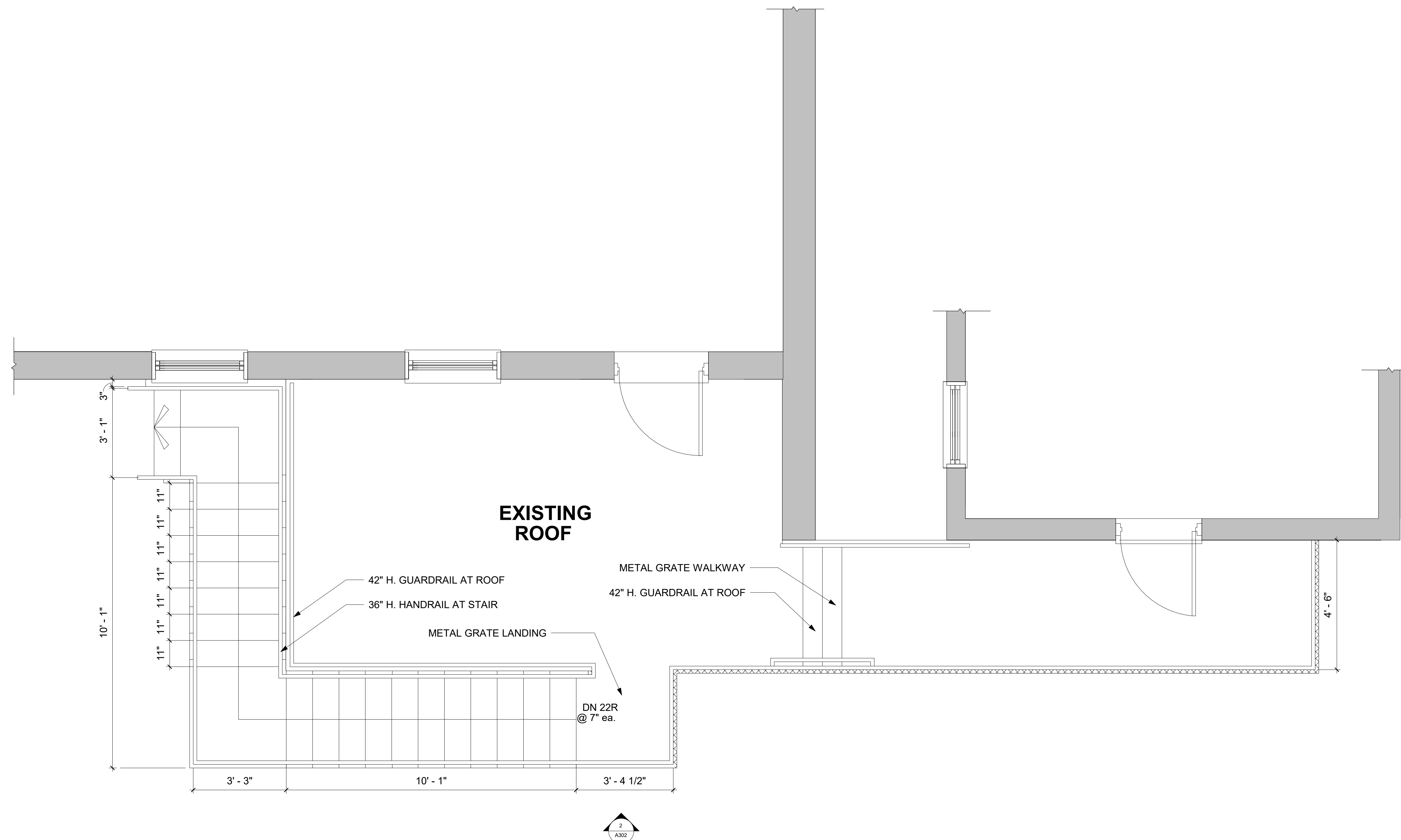
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ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

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EXTERIOR ELEVATIONS AND SECTIONS

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DWG No.:

A301

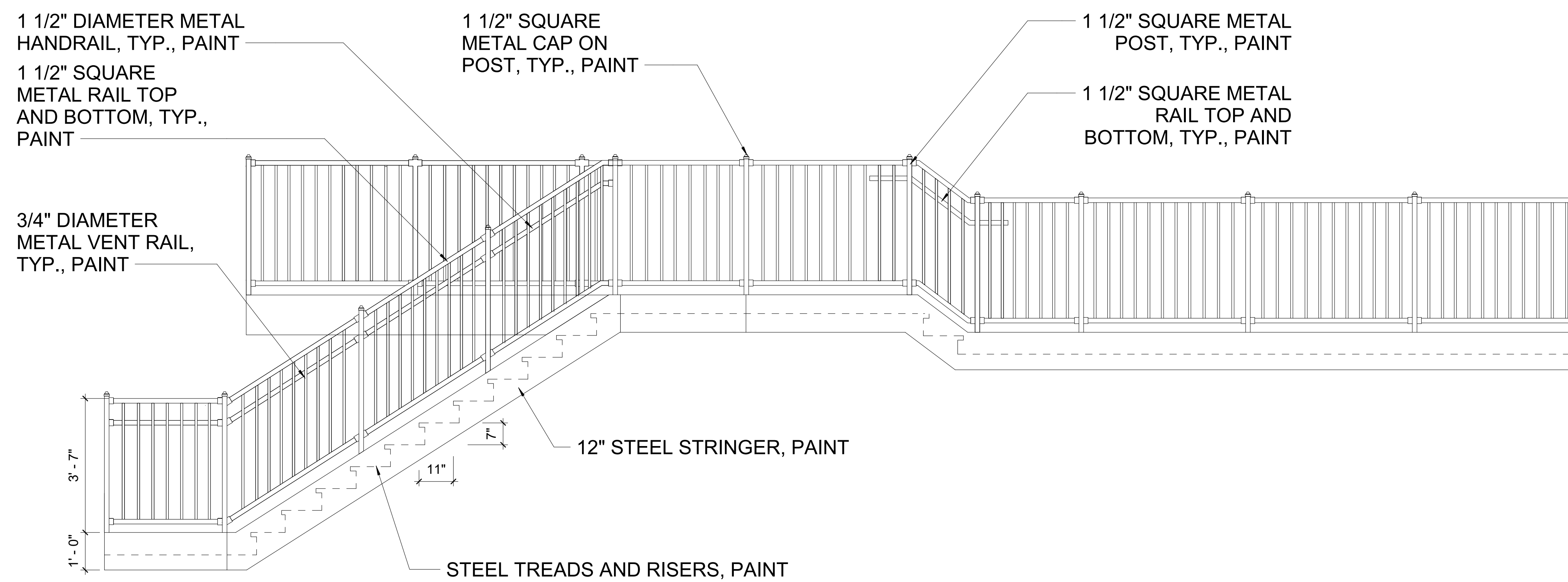
EXTERIOR EGRESS STAIR PLAN



NOTE: PLEASE REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND MEASUREMENTS

1 NEW EGRESS STAIRS - TOP VIEW
A302 1/2" = 1'-0"

EXTERIOR DETAILS - EGRESS STAIR



NOTE: PLEASE REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND MEASUREMENTS

2 EXTERIOR EGRESS STAIR SECTION
A302 1/2" = 1'-0"

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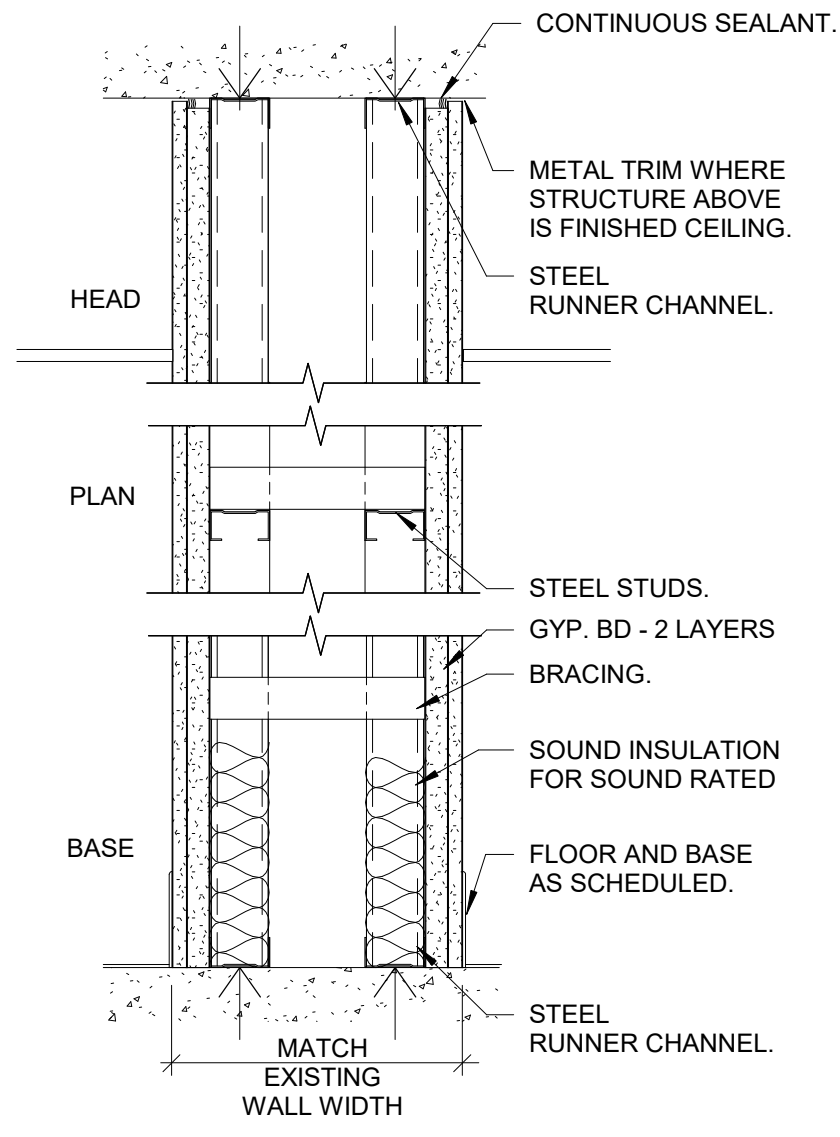
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2805 M STREET, NW
WASHINGTON, DC 2007

EXTERIOR ELEVATIONS AND SECTIONS

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:

A302

PARTITION TYPES



NO RATING
 2A 1-5/8" STUDS, 1 LAYER OF GYP. BD, EACH SIDE, STEEL STUD OR GYP. BD. BRACING.

DOOR SCHEDULE

DOOR NUMBER	LOCATION	DOOR SIZE	CONST. TYPE	FINISH TYPE	FRAME	HDWR GROUP
ND-2	2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	2
ND-3	2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	1

HARDWARE SCHEDULE

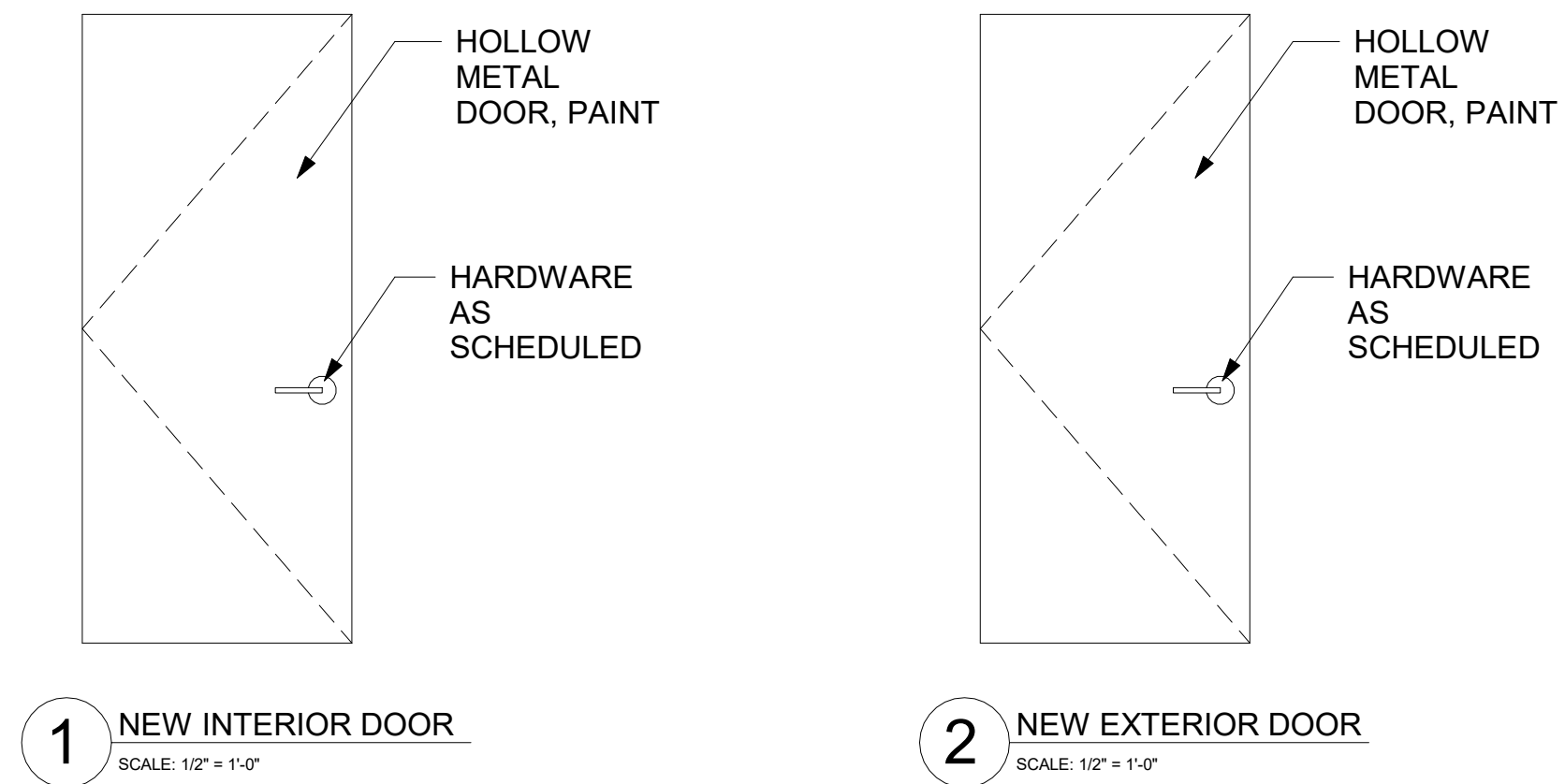
HARDWARE SET	HINGES	CLOSER	LEVER	NOTES
1	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Entry, Reversible, SAT Style Handle, Schlage "SC 4", UL 10C, ANSI Grade 2 86525	
2	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Privacy, Reversible, SAT Style Handle, UL 10C, ANSI Grade 2 86528	1 HOUR RATED

WINDOW SCHEDULE

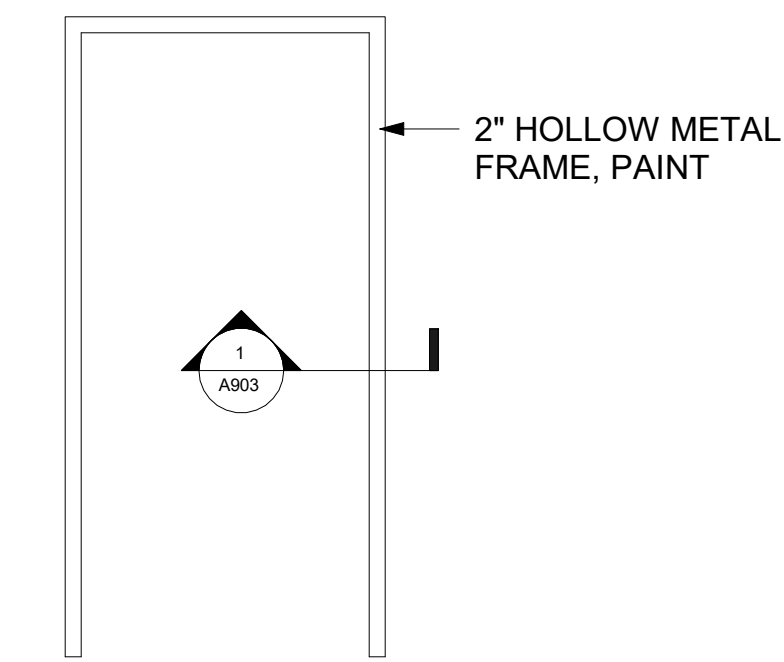
WINDOW NUMBER	LOCATION	WINDOW SIZE	MATERIAL	FINISH TYPE	GLASS TYPE	WINDOW TYPE
W2-1	2ND FLOOR	3'-1" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W2-2	2ND FLOOR	2'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W2-3	2ND FLOOR	2'-9" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W3-1	LOFT FLOOR	2'-7" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG

NOTE: GC TO FIELD VERIFY THE NEW WINDOW OPENINGS BEFORE PURCHASING ANY MATERIALS.

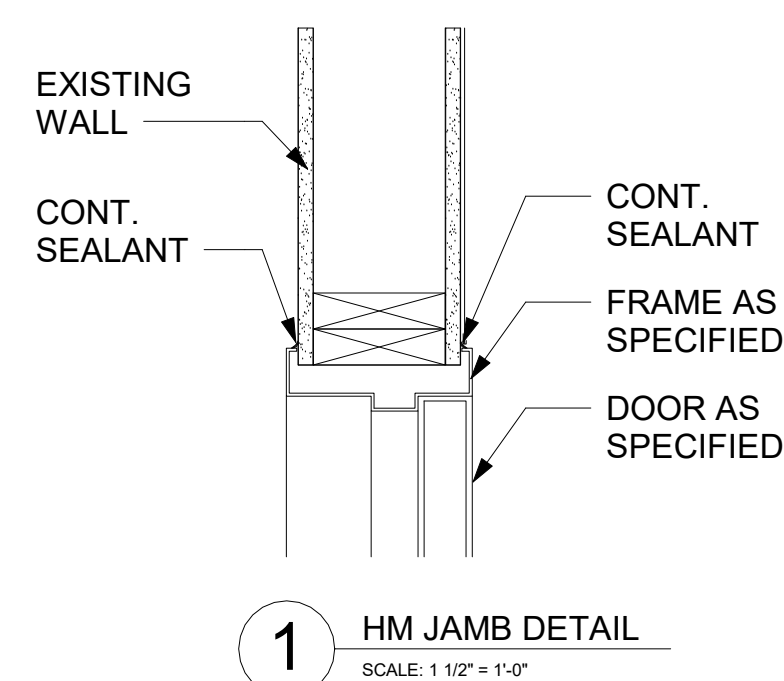
DOOR TYPE



DOOR FRAME



FRAME DETAIL



GENERAL NOTES - DOOR & HDWR

1. DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. FIELD VERIFY ALL OPENINGS, DIMENSIONS AND CONDITIONS AFFECTING WORK PRIOR TO ORDERING AND/OR INSTALLING
3. UNLATCHING FORCE SHALL NOT EXCEED 15 LBS. IN THE DIRECTION OF TRAVEL.
4. THRESHOLDS SHALL NOT EXCEED 1/2" IN HGT. AND SHALL HAVE BEVELED SIDES THAT SLOPE 1:2 MAXIMUM.
5. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
6. ALL DOORS TO BE SELF CLOSING U.N.O.

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PROJECT

ALTERATIONS AND REPAIRS
 AT 2805 M ST, NW

2805 M STREET, NW
 WASHINGTON, DC 2007

WALL PARTITION SCHEDULE, HARDWARE SCHEDULE AND DETAIL

SEAL & SIGNATURE
 PROJECT OF COLUMBIA UNIVERSITY

PROJECT No.: 1123.00
 DWG No.:
A903